



HILLINGDON
LONDON



VIRTUAL North Planning Committee

Date: WEDNESDAY, 17 JUNE
2020

Time: 6.00 PM

Location: VIRTUAL MEETING

Watch Live Watch a live broadcast of this meeting on the Council's YouTube channel: [Hillingdon London](#)

Important Meeting Advice: Following UK Government advice to avoid all but essential travel and to practice social distancing, the usual physical public speaking rights at Planning Committee will be suspended temporarily during the coronavirus pandemic. Instead, written representations will be considered as part of Hillingdon's established Petitions Scheme.

To Councillors on the Committee

- Councillor Edward Lavery (Chairman)
- Councillor Henry Higgins (Vice-Chairman)
- Councillor Jas Dhot
- Councillor Becky Haggar
- Councillor Carol Melvin BSc (Hons)
- Councillor John Oswell
- Councillor John Morgan
- Councillor Allan Kauffman
- Councillor Jagjit Singh

Published: Tuesday, 9 June 2020

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Putting our residents first

Agenda

Chairman's Announcements

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 To sign and receive the minutes of the previous meeting 1 - 6
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items of business marked Part 1 will be considered in public and that the items marked Part 2 will be considered in private

PART I - Members, Public and Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. The name of the local ward area is also given in addition to the address of the premises or land concerned.

Applications with Petitions

	Address	Ward	Description & Recommendation	Page
6	5 & 6 Firs Walk - 30837/APP/2019/3096	Northwood	Erection of 3 x 4-bed dwellings with associated parking and amenity space and installation of vehicular crossover (involving demolition of 5 Firs Walk (Outline Planning Application with Some Matters Reserved). Recommendation: Refusal	7 - 24 177 - 182
7	15 Kewferry Road – 26090/APP/2020/300	Northwood	Retrospective application for a single storey rear extension and front boundary wall and gates. Recommendation: Refusal	25 – 34 183 - 192

8	48 Murray Road - 9357/APP/2019/4133	Northwood	Demolition of the existing bungalow and the erection of 4 x 2-storey detached dwellings with habitable roof space with parking, amenity, cycle provision, refuse and external landscaping and associated works. Recommendation: Approval	35 – 58 193 - 215
9	17 Woodside Road – 29754/APP/2019/3994	Northwood Hills	Two storey side extension and first floor rear extension. Recommendation: Approval	59 – 74 216 - 228
10	Land at garage block, Southbourne Gardens - 72211/APP/2020/480		Four storey building comprising 8 x 2 Bedroom flats with associated car and cycle parking and amenity space involving demolition of existing garages. Recommendation: Refusal	75 – 90 229 - 235

Applications without Petitions

	Address	Ward	Description & Recommendation	Page
11	Hume Way, Ruislip – 54873/APP/2020/721	Eastcote & East Ruislip	Installation of a 20m monopole, 12 x antenna apertures, equipment cabinets, the removal of the existing 13.7m monopole, 3 x antennas, redundant equipment cabinets and development ancillary thereto. Recommendation: Refusal	91 – 102 236 - 258
12	Weybeards Farm, Primrose Cottage, Hill End Road – 72546/APP/2019/3837	Harefield	Conversion of existing barns into 4 (2 x 2 bedroom and 2 x 3 bedroom) residential units, including alterations to fenestration with associated works. Recommendation: Approval	103 - 124 259 - 271

13	Long Lane Farm, Long Lane – 14951/APP/2020/1449	Ickenham	Proposal to remove 6 x existing antenna from an existing telecommunications site and replace with 12 x new antenna and add all ancillary works and to upgrade existing cabins internally. Recommendation: Approval	125 - 138 272 - 284
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PART II - Members Only

That the reports in Part 2 of this agenda be declared not for publication because they involve the disclosure of information in accordance with Section 100(A) and Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that they contain exempt information and that the public interest in withholding the information outweighs the public interest in disclosing it.

14	Enforcement Report	139 - 146
15	Enforcement Report	147 - 160
16	Enforcement Report	161 - 168
17	Enforcement Report	169 - 176

PART I - Plans for North Planning Committee

177 - 284

Agenda Item 3

Minutes



NORTH Planning Committee

26 May 2020

Meeting held at VIRTUAL - Live on the Council's YouTube channel: Hillingdon London

	<p>Committee Members Present: Councillors Eddie Lavery (Chairman), Henry Higgins (Vice-Chairman), Becky Haggart, Allan Kauffman, Carol Melvin, John Morgan, John Oswell and Jagjit Singh</p> <p>LBH Officers Present: Mark Braddock (Senior Democratic Services Manager), Matt Kolaszewski (Planning Team Manager), James Rodger (Head of Planning, Transportation and Regeneration) and Luke Taylor (Democratic Services Officer)</p>
3.	<p>APOLOGIES FOR ABSENCE (<i>Agenda Item 1</i>)</p> <p>There were no apologies for absence.</p>
4.	<p>DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING (<i>Agenda Item 2</i>)</p> <p>Councillor Melvin declared a non-pecuniary interest in Item 7 and left the meeting for the discussion of this item.</p>
5.	<p>TO SIGN AND RECEIVE THE MINUTES OF THE PREVIOUS MEETING (<i>Agenda Item 3</i>)</p> <p>RESOLVED: That the minutes of the meetings held on 18 March 2020 and 14 May 2020 were both agreed as a correct record.</p>
6.	<p>MATTERS THAT HAVE BEEN NOTIFIED IN ADVANCE OR URGENT (<i>Agenda Item 4</i>)</p> <p>None.</p>
7.	<p>TO CONFIRM THAT THE ITEMS OF BUSINESS MARKED PART 1 WILL BE CONSIDERED IN PUBLIC AND THAT THE ITEMS MARKED PART 2 WILL BE CONSIDERED IN PRIVATE (<i>Agenda Item 5</i>)</p> <p>It was confirmed that Items 1 – 14 were marked Part I and would be considered in public, and Items 15 – 16 were marked Part II and would be considered in private.</p>
8.	<p>COVID-19: TEMPORARY PLANNING PETITION SCHEME CHANGES - WRITTEN REPRESENTATIONS IN LIEU OF PHYSICAL SPEAKING RIGHTS (<i>Agenda Item 6</i>)</p> <p>The Democratic Services Manager introduced the report which outlined temporary proposals to the Planning Petition Scheme in light of the COVID-19 pandemic. The Committee heard that the proposals included a temporary suspension of speaking</p>

rights for petitioners, applicants and agents, and it was proposed written representations would take the place of physical speaking rights where a valid petition had been received by the Council on a specific application. These written representations would then be read out to the Committee at the meeting.

Members were informed that these temporary changes would revert back to physical speaking rights with the resumption of traditional Committee meetings.

The officer's recommendation to approve the temporary change to the Planning Petition Scheme was moved, seconded, and upon being put to a vote, unanimously agreed.

RESOLVED: That, under the provision of Standing Order 16 (Committee Procedure Rules), the temporary suspension of Standing Order 13 (Committee Procedure Rules) and the immediate application of written representations, be approved.

9. **16 MURRAY ROAD, NORTHWOOD - 4626/APP/2019/629** (*Agenda Item 7*)

Two-storey, rear extension with habitable roofspace to allow for conversion of ground and first floor from part Use Class C3 (Dwellings) and part Class D1 to Class D1 (Non-Residential Institutions – Nursery) and addition of rear dormer to allow for conversion of second floor into two one-bed, self-contained flats.

Councillor Melvin declared an interest in this item and left the meeting for the discussion of this application.

Officers introduced the application, and the Democratic Services Officer read out a written representation received from the lead petitioner, objecting to the application.

The petitioners' representation stated that the application did not meet the requirements of the Town and Country Planning (General Permitted Development) Order 1995 and was proposed in the Northwood-Frithwood Conservation Area. Members heard that the application was out of scale with the original house and the removal of shrub and flower beds for parking would be detrimental to the historic look of the road. The petitioner noted that, by virtue of its bulk, size, scale and proximity to Nos 14 and 18 Murray Road, it would have a detrimental impact on neighbouring properties by reason of over-dominance, over-shadowing, visual intrusion, loss of light and loss of outlook.

The Committee agreed that the application was out of character in the area and praised the officer's report. Members moved, seconded, and upon being put to a vote, unanimously agreed the officer's recommendation.

RESOLVED: That the application be refused.

10. **178-180 FIELD END ROAD, EASTCOTE, PINNER - 74599/APP/2020/619** (*Agenda Item 8*)

Change of use of No. 178 from retail (Use Class A1) to restaurant (Use Class A3), single-storey infill extension, installation of rooflight and installation of a new shop front to both units.

Officers introduced the application and noted the addendum.

Councillors agreed that the application was a good usage of the site, and would help improve the viability of the parade of shops and benefit the high street.

Responding to the Committee's questioning, Officers noted that waste would continue to be stored at the rear of the property and the Council's waste officer was happy with the proposals, which opening times for the shop remained standard.

The officer's recommendation was moved and seconded, and upon being put to a vote, unanimously approved.

RESOLVED: That the application be approved.

11. **HIGHWAY FARM, HARVIL ROAD, HAREFIELD - 50235/APP/2019/3403** (*Agenda Item 9*)

Installation of wire frame sculpture of a dog.

Officers introduced the application, and the Committee moved, seconded and unanimously approved the officer's recommendation.

RESOLVED: That the application be approved.

12. **COPTHALL FARM, BREAKSPEAR ROAD SOUTH, ICKENHAM - 9271/APP/2019/3381** (*Agenda Item 10*)

Erection of agricultural building for hay and straw.

Officers introduced the report, and the Committee proposed that a condition be added to the application to ensure only agricultural products be stored in the building.

The Head of Planning, Transportation and Regeneration confirmed that a condition was suitable for the application, and noted that a further informative was needed to outline the requirements for suds management.

Members moved the officer's recommendation, subject to delegated authority to the Head of Planning, Transportation and Regeneration to include a further condition to ensure the building was only used to store agricultural products and an informative relating to suds management.

This proposal was seconded, and upon being put to a vote, was unanimously approved.

RESOLVED: That the application be approved, subject to delegated authority to the Head of Planning, Transportation and Regeneration to include:

- 1. An additional condition to ensure only agricultural products be stored in the building; and,**
- 2. An additional informative outlining the requirements for Suds Management.**

13. **86 DUCKS HILL ROAD, NORTHWOOD - 49961/APP/2020/204** (*Agenda Item 11*)

Addition of a first floor and part two-storey, part single-storey front / side

extension and single-storey rear extension and raised rear decking area.

Officers introduced the application, and, responding to Councillors' questioning, stated that the neighbouring property situated higher than the proposal would still be affected by the application as its windows would look straight at a wall just 1.95m from its boundary.

The Committee moved, seconded and unanimously agreed the officer's recommendation at a vote.

RESOLVED: That the application be refused.

14. **ST JOHN'S SCHOOL, POTTER STREET HILL, NORTHWOOD - 10795/APP/2020/371** (*Agenda Item 12*)

Erection of a tree house.

Officers introduced the application, and Councillors confirmed that they were very happy with this application that would enhance teaching and support the children.

Members moved and seconded the officer's recommendation, which, upon being put to a vote, was unanimously approved.

RESOLVED: That the application be approved.

15. **SMALL HOLDING 1 OPPOSITE NORTHWOOD HILLS UNITED REFORM CHURCH, JOEL STREET, NORTHWOOD - 75214/APP/2019/3611** (*Agenda Item 13*)

Erection of four stables (retrospective).

Officers introduced the application and noted the addendum, which removed Condition 1.

The Committee agreed that the application was a great improvement, and moved, seconded and unanimously approved the officer's recommendation.

RESOLVED: That the application be approved.

16. **S106 QUARTERLY MONITORING REPORT** (*Agenda Item 14*)

RESOLVED: That the S106 Quarterly Monitoring Report be noted.

17. **ENFORCEMENT REPORT** (*Agenda Item 15*)

RESOLVED:

1. That the enforcement action, as recommended in the officer's report, was agreed; and,
2. That the Committee resolved to release their decision, and the reasons for it outlined in the report, into the public domain, solely for the purposes of it issuing the formal breach of condition notice to the individual concerned.

This item is declared as exempt from publication as it involves the disclosure of

	<p>information in accordance with Section 100(A) and paragraphs 1, 2 & 7 of Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that the report contains information relating to any individual, information likely to reveal the identity of an individual and information relating to any action taken or to be taken in connection with the prevention, investigation or prosecution of crime and that the public interest in withholding the information outweighs the public interest in disclosing it.</p>
18.	<p>ENFORCEMENT REPORT (<i>Agenda Item 16</i>)</p> <p>RESOLVED:</p> <ol style="list-style-type: none"> 1. That the enforcement action, as recommended in the officer's report, was agreed; and, 2. That the Committee resolved to release their decision, and the reasons for it outlined in the report, into the public domain, solely for the purposes of it issuing the formal breach of condition notice to the individual concerned. <p>This item is declared as exempt from publication as it involves the disclosure of information in accordance with Section 100(A) and paragraphs 1, 2 & 7 of Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that the report contains information relating to any individual, information likely to reveal the identity of an individual and information relating to any action taken or to be taken in connection with the prevention, investigation or prosecution of crime and that the public interest in withholding the information outweighs the public interest in disclosing it.</p>
	<p>The meeting, which commenced at 6.00 pm, closed at 7.07 pm.</p>

These are the minutes of the above meeting. For more information on any of the resolutions please contact Democratic Services on Telephone 01895 250636 or email (recommended): democratic@hillingdon.gov.uk. Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

The public part of this meeting was filmed live on the Council's YouTube Channel to increase transparency in decision-making, however these minutes remain the official and definitive record of proceedings.

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Report of the Head of Planning, Transportation and Regeneration

Address 5 & 6 FIRS WALK NORTHWOOD

Development: Erection of 3 x 4-bed dwellings with associated parking and amenity space and installation of vehicular crossover (involving demolition of 5 Firs Walk (Outline Planning Application with Some Matters Reserved)

LBH Ref Nos: 30837/APP/2019/3096

Drawing Nos: Design and Access Statement
19-2752-03 A
19-J2752-LP01 Rev A
Covering Letter dated 20.01.2020
19-2752-100 Rev B

Date Plans Received:	18/09/2019	Date(s) of Amendment(s):	22/10/2019
Date Application Valid:	10/10/2019		10/10/2019
			31/01/2020

1. SUMMARY

This application is being reported to North Planning Committee because a petition is lodged against the application. The proposal seeks outline permission for the demolition of no. 5 Firs Walk and the erection of 3 new dwellings. The details for the access to the site have been included; all other matters are reserved for future consideration.

The proposal provides a net increase in two family dwellinghouses, which is a material planning consideration in favour of the development, the weight to be afforded this however has been considered in light of the Council's ability to demonstrate a five year land supply. The application proposal would result in the significant loss of back garden land and the functions it serves in relation to local character, amenity space and supporting biodiversity.

The benefit of two additional family dwellinghouses does not outweigh the significant harm caused by the loss of the existing back garden land.

To enable the internal roads to be completed to serve two of the dwellings, works to the road at the end Foxdell would be required, in effect it is not within the ability of the applicant to undertake all necessary works to connect the existing estate road in Foxdell to the extended roadway in Firs Walk, it would require intervention by the Council as highways authority. This would need to be the subject of a legal agreement, as no such legal agreement has been entered into this forms a 2nd refusal reason. If no legal agreement is entered into two of the houses would have no vehicular access or parking, which would also be considered unacceptable.

The application is therefore recommended for refusal for the above two reasons.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 **Non Standard reason for refusal**

The proposed development, reason of its siting and the significant loss of existing gardens

would appear at odds with the prevailing character of the surrounding area and would be a cramped form of development which would have a detrimental impact on the visual amenity and character and appearance of the area. The harm would be further exacerbated by the loss of mature soft landscaping and proposed layout of the built footprint. The development would be contrary to Policy DMH 6, DMHB 11, DMHB 12 and DMHB 14 of the Local Plan: Part Two - Development Management Policies (2020), Policies 3.5, 7.1 and 7.4 of the London Plan and the NPPF (2019).

2 NON2 Non Standard reason for refusal

The proposed development, in the absence of a Section 106 legal agreement fails to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development (in respect of highways works and Project Management and Monitoring).

The scheme therefore conflicts with Policy DMCI 7 of the Hillingdon Local Plan: Part Two Development management Policies (2020), the London Borough of Hillingdon Supplementary Planning Document on Planning Obligations, Policy DF1 of the London Plan Intend to Publish Version (2019), Policy 8.2 of the London Plan (2016) and paras 54-57 of the NPPF 2019.

INFORMATIVES

1 I59 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2016). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

2 I71 LBH worked applicant in a positive & proactive (Refusing)

In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from the 'Saved' UDP 2007, Local Plan Part 1, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service.

3. CONSIDERATIONS

3.1 Site and Locality

The application site is located on the southern side of Firs Walk that is accessed by a small single track road. The application site comprises a detached two storey property situated in the south eastern corner of the turning head.

The site area measures approximately 0.16ha. To the west are nos. 4 and 7 Firs Walk and no. 6 is situated to the north. To the east is the turning head of the adjacent cul-de-sac Foxdell and the properties nos. 8 and 13. The London School of Theology lies to the south.

The street scene is residential in character, with properties on Firs Walk comprising larger detached properties of differing designs set within spacious plots. The properties along Foxdell are a newer development of a more uniform design and spacing, and set within

smaller plots. Although the application is not situated within a Conservation Area, Dene Road Area of Special Local Character is situated 30m to the north.

3.2 Proposed Scheme

The application seeks outline planning permission for the demolition of no. 5 Firs Walk and the erection of 3 x 4 bed dwellings, with parking and associated amenity space. Details relating to access to the site has been included; all other matters are reserved for future consideration. The plans also show an indicative layout to demonstrate how the dwellings could be accommodated within the site.

3.3 Relevant Planning History

30837/B/82/0254 5 Firs Walk Northwood
Householder development - residential extension(P)

Decision: 16-04-1982 Approved

73874/APP/2018/2107 No'S 5 & 6 Firs Walk And Land To The Rear Of 25 Dene Road Northw
Demolition of 5 & 6 Firs Walk, 6 new dwellinghouses with associated car parking, new access arrangements from Foxdell and removal of existing access from Firs Walk at Nos. 5 & 6 Firs Walk and land to the rear of No. 25 Dene Road (Outline application with some matters reserved

Decision: 22-07-2019 Not Determined **Appeal:** 22-07-2019 Dismissed

Comment on Relevant Planning History

Under application ref: 73874/APP/2018/2107 (22-07-19) planning permission was refused for the demolition of Nos 5 & 6 Firs Walk, and the erection of 6 new dwellinghouses with associated car parking, new access arrangements from Foxdell and removal of existing access from Firs Walk at Nos. 5 & 6 Firs Walk and land to the rear of No. 25 Dene Road (Outline application with some matters reserved).

This application was refused for the following reasons:

1) The proposed development, by reason of its siting and layout would result in a development of the site, which would fail to harmonise with the existing local and historic context of the surrounding area. The principle of intensifying the residential use of the site to the level proposed, as well as the proposed loss of existing private rear garden area would have a detrimental impact on the Dene Road Area of Special Local Character character and appearance of the area as a whole. The proposal is therefore detrimental to the visual amenity and character of the surrounding area and contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies BE5, BE13 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), Policies 3.5, 7.1 and 7.4 of the London Plan (March 2016), the Mayor of London's adopted Supplementary Planning Guidance - Housing (March 2016).

2) The proposed layout and access, by reason of the close proximity of the proposed turning head, would be detrimental to the residential amenity of the future occupants of plot 1 by reason of the noise, disturbance and potential light pollution. As such the proposal would fail to comply with Policies BE19, BE21 and OE1 of the Hillingdon Local Plan: Part Two - Saved UDP Policies and the adopted Supplementary Planning Document HDAS: Residential Layouts.

The application was subsequently dismissed at appeal under ref: APP/R5510/W/19/3222609. The Planning Inspector noted that the immediate locality is varied in terms of plot size but the proposed new houses would be more cramped on their plots than their neighbours, especially in terms of their appearance in the streetscene. That factor would be reinforced by the regularity and uniform spacing of the plot frontages as proposed, especially along the southern frontage of the road.

'It is recognised that the planning application was made in outline only but the illustrative drawings show that the development would introduce a significant building bulk into the locality and the street scene would have a much more built up appearance. The numbers proposed and the likely building bulk overall would create an overpowering element in the streetscene and would detract from the character and appearance of the locality.

The cramped and overly developed nature of the scheme in its setting also generates an unsatisfactory relationship between the proposed new road and future residents. The access road and turning head that are shown to be required to serve a development of this size would be a significant scale. In consequence the new turning head would be close to windows of habitable rooms in one of the new houses, causing undue disturbance to the occupants.

Evidently the appeal site lies within an established urban area, while the proposed development would make a useful addition to the housing stock. Nevertheless, I am convinced that the harm done to the character and appearance of the streetscene and the surroundings, as well as the poor quality of the living conditions would be created for certain of the new residents, outweigh the benefits of the project.'

4. Planning Policies and Standards

Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

The Development Plan for the London Borough of Hillingdon currently consists of the following documents:

- The Local Plan: Part 1 - Strategic Policies (2012)
- The Local Plan: Part 2 - Development Management Policies (2020)
- The Local Plan: Part 2 - Site Allocations and Designations (2020)
- West London Waste Plan (2015)
- The London Plan - Consolidated With Alterations (2016)

Material Considerations

The National Planning Policy Framework (NPPF) (2019) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.

Emerging Planning Policies

Paragraph 48 of the National Planning Policy Framework (NPPF) 2019 states that 'Local Planning Authorities may give weight to relevant policies in emerging plans according to:

- (a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);
- (b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and

(c) the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

Draft London Plan (Intend to Publish Version, December 2019)

The GLA consulted upon a draft new London Plan between December 2017 and March 2018 with the intention of replacing the previous versions of the existing London Plan. The Plan was subject to examination hearings from February to May 2019, and a Consolidated Draft Plan with amendments was published in July 2019. The Panel of Inspectors appointed by the Secretary of State issued their report and recommendations to the Mayor on 8th October.

The Mayor has considered the Inspectors' recommendations and, on the 19th December 2019, issued to the Secretary of State his intention to publish the London Plan along with a statement of reasons for any of the Inspectors' recommendations that the Mayor does not wish to accept.

Limited weight should be attached to draft London Plan policies that have not been accepted by the Mayor or that have only been accepted in part/with significant amendments. Greater weight may be attached to policies that were subject to the Inspector's recommendations and have since been accepted by the Mayor through the 'Intend to Publish' version of the Plan. The weight will then increase as unresolved issues are overcome through the completion of the outstanding statutory process. Greater weight may also be attached to policies, which have been found acceptable by the Panel (either expressly or by no comment being made).

UDP / LDF Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMH 2 Housing Mix

DMH 6 Garden and Backland Development

DMHB 11 Design of New Development

DMHB 12 Streets and Public Realm

DMHB 14 Trees and Landscaping

DMHB 16 Housing Standards

DMHB 18 Private Outdoor Amenity Space

LPP 3.3 (2016) Increasing housing supply

LPP 3.4 (2015) Optimising housing potential

LPP 3.5 (2016) Quality and design of housing developments

LPP 3.8 (2016) Housing Choice

LPP 7.1 (2016) Lifetime Neighbourhoods

LPP 7.4 (2016) Local character

LPP 5.12 (2016) Flood risk management

- LPP 5.13 (2016) Sustainable drainage
NPPF- 11 NPPF-11 2018 - Making effective use of land
NPPF- 12 NPPF-12 2018 - Achieving well-designed places

5. Advertisement and Site Notice

- 5.1 Advertisement Expiry Date:- Not applicable
5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

8 neighbours and the Dene Road Residents Association were consulted for a period of 21 days expiring on the 13 November 2019. The site notice was erected to the front of the site expiring on 18 November 2019. 15 responses were received raising the following issues:

- As stated in the D&AS all new development should improve and maintain the quality of the built environment and reflect the identity and context of Hillingdon's buildings...and make a positive contribution to the local area in terms of layout, form, scale (etc). Whilst this scheme is only outline, it appears to do none of these things.
- The proposed layout shoe-horn the maximum possible and the footprints indicate a banal approach. It is also noted that extensive crown roofs are proposed.
- Fails to maintain the open verdant character and appearance of the surrounding area
- Cramped and over developed
- Out of keeping with the street scene
- Adverse impact on the neighbouring property
- The plans submitted are incorrect and they appear to show the new road extending Foxdell as an EXISTING ROAD. This is not the case
- Previously it was stated no trees had been cut down but 3 trees on the boundary between Firs Walk and Foxdell were felled before the previous submission
- Major concern if this is approved would it open the door for future development of no. 6
- Demolition of no. 5 would destroy the unity of the initially conceived Firs Walk development.
- No. 5 may be of historic interest as it is understood to have features in House and Garden Magazine, presumably as a model example of the type of development of the era
- Contrary to the semi rural feel of Firs Walk
- Although Firs Walk is just outside of the Dene Road Area of Special Local Character it is totally consistent the Dene Road environment and character in respect of density, type of property, open environment and appropriately sized gardens with well planted trees.
- It is noted that the cover sheet only refers to no. 5, whereas the proposed changes to no. 6 allow for the access to the new plots and an increase of the rear garden by inclusion of land from the rear of no. 25 Dene Road
- It appears that some of the east end of Firs Walk roadway, not presently belonging to either no. 5 or 6, according to the Land Registry documents for these properties, is to be totally unacceptably incorporated with the development
- Garden development unacceptable
- The proposed garage protrusions on the front elevation of the proposed dwellings is well in front of the existing building lines to properties to both the west and east
- Disruption during development
- Potential difficulties of access to the site
- Historically there have been problems with swage and surface water drainage from Firs Walk. Any alterations need to have careful design and construction considerations in conjunction with Thames

Water

- Increased density would represent an increase of up to 500% in population with associated undesirable increase in noise, light and air pollution
- Increased built environment detrimental to wildlife
- Impact on highway safety in Dene Road due to addition traffic created with its narrow roadway
- The current proposal does nothing to reduce concerns of residents nor address the issues of the previous refusal
- In the absence of any details of the proposal it is not possible to fully assess the proposed bulk that would be introduced by the development
- Loss of privacy
- There are still no turning points provided and plot 1 as shown has woefully insufficient driveway space
- The proposed revised access for plot 1 and no. 6 looks like an absolute mess more so than the previous submission
- Likewise for plots 2 & 3 the proposal does not include acceptable access or the provision of adequate turning space
- Loss of existing parking in Foxdell
- No provision for visitor parking, which in Firs Walk there is no existing provision as all houses have sufficiently large driveways
- Firs Walk is a private road owned by its residents and no permission would be given for any construction traffic to access the proposed site from Firs Walk at any time
- The proposals make zero contribution to the surrounding area, there is no provision for young people attempting to get on the property ladder, no social housing provision and no provision for the community
- Damage to private roads
- The extension of Foxdell into Firs Walk is contingent upon right of way in front of 6, 8, 11 and 13 Foxdell. The right of way is currently the subject of a FOI request and proposed Pre-Action letter to the Council
- Impact on the amenity of neighbouring occupiers
- Impact on property values
- Overbearing impact
- Loss of light
- Inadequate local infrastructure

A petition against the proposal was also received. A copy of a Pre-Action letter to LBH declaring the Disputed Land at the end of Foxdell is not Highway land and seeking an injunction preventing LBH from interfering with the Disputed Land as the local highway authority.

Northwood Residents Association

Three houses on a plot previously occupied by one would fail to maintain the open and verdant character and appearance of the surrounding area. The NPPF recommends that planning policies and decisions should aim to ensure developments optimise the more effective use of previously developed land but, here, the relatively cramped and overly developed nature of the scheme compared to the other properties in Firs Walk would adversely affect the street scene which is of more substantial properties with more open settings. The overall impact is that the bulk will have an adverse impact on the neighbouring property and the scheme would harm the character and appearance of the surroundings generally.

Internal Consultees

Access Officer

Any approval at this stage should convey that a full submission should ensure compliance with standards for a Category 2 M4(2) home as set out in Approved Documents M to the Building

Regulations (2010) 2015.

Trees/Landscaping Officer

This site is occupied by a substantial detached house situated within spacious grounds. The existing house is accessed from Firs Walk, a small residential cul de sac off Dene Road. The north-east corner of the garden is at the end of Foxdell, a more recent residential cul de sac comprising detached houses in more modest plot sizes. The garden of No. 5 is relatively open in character and contains relatively few trees and shrubs. - There are no TPO's or Conservation Area designations which might constrain development. The site lies outside the locally designated Dene Road Area of Special Local Character.

This submission follows the refusal at Appeal of application ref. 2018/2107 for six detached houses over a slightly larger site. The proposal is an outline application with some matters reserved. The current proposal retains house No.6 and proposes three new detached houses and gardens. The existing house, No. 6, and the new plot 1 will be accessed from Firs Walk. Plots 2 and 3 will be accessed from a new connection with Foxdell. Landscape is one of the reserved matters, however, the site layout plan, by Ascot Design, indicates that there is space and opportunity for providing green infrastructure in the form of private gardens, which should be conditioned to complement the character and appearance of the area, if the application is approved. Conditions for levels and landscaping is required.

Highways Officer

The site has a PTAL rating of 1 (poor) and therefore encourages a higher dependency on the private motor car. There are two existing 4 bedroom detached dwellings (No.5 & 6). No.5 is to be demolished and No.6 is to remain but with a realigned site boundary.

The application has been reviewed by the Highway Authority who are satisfied that the proposal would not exacerbate congestion or parking stress, and would not raise any highway safety concerns, in accordance with Policies AM2, AM7 and AM14 of the Development Plan (2012) and emerging Local Plan Part 2 Development Plan Policies DMT 1, DMT 2 & DMT 6 and Policies 6.3, 6.9, and 6.13 of the London Plan (2016).

Environmental Protection - Nuisance from demolition and construction work is subject to control under the Control of Pollution Act 1974, the Clean Air Act 1993 and Environmental Protection Act 1990.

Planning Policy Officer

The proposed development would be on the plot of an existing dwelling at 5 Firs Walk. The existing dwelling will be demolished and three new dwellings are proposed and would be located on land that previously formed the garden of 5 Firs Walk.

Policy BE1 of the Local Plan Part 1 (2012) and Policy DMH 6: Garden and Backland Development of the Local Plan Part 2 (2020) set out a presumption against the loss of gardens due to the need to maintain local character, amenity space and biodiversity. The Council's approach to housing as set out in Policy H1 of the Local Plan Part 1 is to ensure new housing development makes the most efficient use of brownfield land. The NPPF (para 70) also highlights the issue of protecting against inappropriate development of residential gardens where this would cause harm to the local area. This is also reflected in the London Plan. The proposed development would therefore be contrary to Local Plan policies BE1 and DMH 6 and should be refused unless there are material considerations which outweigh this in principle objection.

Given this is an outline application it is only possible to make a high level assessment in this regard. For example, it is noted that the proposed development would result in a net increase of two additional dwellings which contribute to the borough's overall housing supply. However, the weight to be afforded this however has been considered in light of the Council's ability to demonstrate a five year land supply. It is recognised that as proposed they would all be family sized (4 bed) dwellings, for which there is also an identified need and this benefit should be given some minimal weight. However, it is not considered that at this stage this minimal benefit is sufficient to outweigh the significant loss of the back garden land and the function it serves in relation to local character, amenity space, supporting biodiversity and reducing flood risk.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Paragraph 122 of the NPPF (2019) supports developments that makes efficient use of land, taking into account the desirability of maintaining an area's prevailing character. The NPPF glossary clarifies that that previously developed land excludes residential gardens.

Policy 3.3 of the London Plan (March 2016) seeks to ensure that London's housing needs are met. This objective is reiterated in the Mayor of London's Supplementary Planning Guidance (SPG) on Housing. Policy 3.4 of The London Plan (2016) promotes the optimisation of housing output within different types of location.

Policy H1 of the Local Plan: Part One (November 2012) gives general support to housing provision to meet and exceed the Council's minimum strategic dwelling requirement, where this can be achieved, in accordance with other Local Plan policies.

Policy DMH 6 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) advises that there is presumption against the loss of gardens due to the need to maintain local character, amenity space and biodiversity. In exceptional cases a limited scale of backland development may be acceptable, subject to the following criteria:

- i) Neighbouring residential amenity and privacy of existing homes and gardens must be maintained and unacceptable light spillage avoided;
- ii) Vehicular access or car parking should not have an adverse impact on neighbours in terms of noise or light. Access roads between dwellings and unnecessarily long access roads will not normally be acceptable;
- iii) Development on backland sites must be more intimate in mass and scale and lower than frontage properties; and
- iv) Features such as trees, shrubs and wildlife habitat must be retained or re-provided.

Whilst planning policy generally supports the increase in the supply of new homes across the Borough, the Council can demonstrate a five year housing land supply. There is no reason why the redevelopment of this site for the net addition of two family dwellinghouses would outweigh the significant loss of the back garden and harm to the local character of the visual amenity and local character of the area. The benefit presented by the application is not sufficient to outweigh the significant loss of the back garden land and the function it serves in relation to local character, amenity space, supporting biodiversity and reducing flood risk. The proposal therefore fails to comply with the requirements of Policy DMH 6 of the Local Plan: Part Two (2020).

7.02 Density of the proposed development

Policy 3.4 of the London Plan (2016) seeks to ensure that the new development takes into account local context and character, the design principles in Chapter 7 and public transport capacity development should optimise housing output for different types of location within the relative density range shown in Table 3.2. Development proposals which compromise

this policy should be resisted.

The density matrix, however, is only of limited value when looking at small scale development such as that proposed with this application. In such cases, it is often more appropriate to consider how the development harmonises with its surroundings and its impact on adjoining occupiers.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The application site does not lie within a conservation area, nor are there listed buildings within the site's immediate setting that could be impacted by the proposal. The Dene Road Area of Special Local Character is situated 30m to the north of the site.

It is noted that the submitted layout plans indicate that part of the rear garden of no. 25 Dene Road, which does lie within the ASLC would be transferred to no. 6 Firs Walk to provide additional amenity space, addressing the loss of part of the existing garden space to the proposed development. However the transfer of the existing garden from one property to another would not require planning consent in its own right and does not form part of the consideration for this proposal.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) states that all new developments should achieve a high quality of design in all new buildings and the public realm contributes to community cohesion and a sense of place.

Policy DMHB 11 of the Local Plan: Part Two - Development Management Policies (2020) advises that all development will be required to be designed to the highest standards and incorporate principles of good design. It should take into account aspects including the scale of the development considering the height, mass and bulk of adjacent structures; building plot sizes and established street patterns; building lines and streetscape rhythm and landscaping.

Policy DMHB 12 re-emphasises the need for new development to be well integrated with the surrounding area and provides design criteria as to how this would be achieved. The proposal is an over development of the site that would result in a cramped form of development.

The application is in outline form and details of the appearance, landscaping, layout and scale are reserved, so the application does not provide details of the proposed design. Nevertheless, the proposed site layout plan illustrates the provision of 3 new dwellings, with plot 1 retaining the existing access to Firs Walk and plots 2 and 3 having a new access from Foxdell.

The existing site comprises two existing residential units set in spacious plots. The existing dwellings are in keeping with the character of the properties along Firs Walk. The area as a whole is characterised by larger dwellings set within spacious gardens, with the plots to the west along Firs Walk having a width exceeding 16.5m and the properties to the east along Foxdell having plots of at least 14m in width.

No 6 would be retained with part of the southern side/rear garden being utilised to provide

the new access and the front of plots 2 and 3, with additional garden space provided from the rear of no. 25 Dene Road.

The indicative layout plan illustrates the existing dwellinghouse at No. 5 would be demolished to make way for 3 dwellinghouses that the applicant says attempts to follow the pattern of development along Foxdell. The indicative layout comprises of 3 properties, that attempt to replicate Foxdell, but are out of keeping with the character and context of both Firs Walk and Foxdell. The building lines of the replacement dwellings would be set forward of the existing building lines along Firs Walk and Foxdell with large front projections and crown roof details. The development would provide a cramped form of development which would not be in keeping with the character of the street scene or the wider area.

Most notable is the significant loss of soft landscaping along the front boundary which contributes to the verdant setting and character of the area. The indicative layout illustrates the front boundaries dominated by large projections and vast areas of hard landscaping eroding the verdant character and setting of Firs Walk.

Whilst design is a matter reserved for later submission, having regard to the scale of the plots proposed, the proposal as laid out would result in a cramped form of development in the context of this site and the proposed development fails to respect the character of the neighbouring properties and the wider street scenes. The proposal would therefore fails to comply with the requirements of Policies DMHB 11, DMHB 12 and DMHB 14 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

7.08 Impact on neighbours

Policy DMHB 11 of the Local Plan: Part Two (2020) notes development should not have an adversely impact the amenity, daylight and sunlight of adjacent properties and open space.

The site could be capable of accommodating four houses without adversely affecting the amenities of surrounding properties. The layout shows that the nearest houses would be sufficiently remote from adjoining properties with a separation distance in excess of 21m between habitable rooms and 17.5m from rear windows facing a flank wall. Also the proposed dwellings would not compromise a 45 degree line of sight from the nearest habitable windows.

The separation distances would ensure that the proposed houses would not result in any overshadowing or appear unduly dominant from neighbouring properties. It is noted that there is a distance of approximately 15m between the indicative front wall of plot 1 and the private rear amenity space of no. 7 Firs Walk, within a 45 degree splay and as such there would be a potential conflict and loss of privacy to that property. However this would be dependent on the layout of the proposed dwelling and would need to be considered as part of the reserved matters.

7.09 Living conditions for future occupiers

The provision of good quality housing is a key aspect of the London Plan and Local Plan housing policies. Policy 3.5 of the London Plan (2016) requires the design of new housing developments to consider elements that enable the home to become a comfortable place of retreat. Policy DMHB 16 of the Local Plan: Part Two (2020) requires all housing development to have adequate provision of internal space in order to provide an appropriate living environment.

The applicant has not provided detailed plans for each unit, although the site layout indicates large detached properties that could be meet minimum floorspace standards.

Private Amenity Space

Policy DMHB 18 advises that all new residential development will be required to provide good quality and useable private outdoor amenity space and for a 4+ bedroom house a minimum of 100 sq.m would be required.

The layout plan indicates a potential provision of between 120 sq.m - 140 sq.m. The proposal therefore complies with policy DMHB 18 of the Local Plan: Part Two - Development Management Policies (2020).

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Policy DMT2 of the Local Plan: Part Two - Development Management Policies (2020) advises proposals must ensure safe and efficient access to the highway network and that there are suitable mitigation measures to address any traffic impacts in terms of capacity and function of the existing road.

The proposal would marginally increase traffic generation from the site as compared to the two existing dwelling units. However peak period traffic movement into and out of the site would not be expected to rise above 1-2 additional vehicle movements during the peak morning and evening hours. Hence this uplift is considered marginal in generation terms and therefore can be absorbed within the local road network without notable detriment to traffic congestion and road safety.

Local Plan Part 2 Policy DMT 6 requires that new development will only be permitted where it accords with the Council's adopted parking standards unless it can be demonstrated that a deviation from the standard would not result in a deleterious impact on the surrounding road network.

The Highways Officer has advised that an existing access driveway that serves both existing dwellings from Firs Walk (private in tenure and situated on the western flank of the site) is to be redesigned to form a new single access which is to serve both the existing property (No.6) and a new unit (plot 1 only).

Plots 2 & 3 are to be accessed via a new opening from Foxdell (Adopted highway and situated on the eastern flank of the site). The principle of the new access arrangements is considered acceptable in the site circumstance and it should be noted that the new access point from the publicly adopted highway (Foxdell) would need to be constructed to an appropriate Council standard under a S278 (Highways Act 1980) agreement (or suitable alternative arrangement) at the applicant's expense. The new access from Firs Walk (private in tenure) should also be made good and constructed to a comparable standard.

The highways officer has raised no objection to the internal layout and arrangement of the new roadways within the site envelope broadly conform to the Department for Transport's (DfT) - Manual for Streets (MfS) best practice for road and parking layouts. The layout will allow for vehicles using the site to enter and leave the site in a forward gear which is the recommended practice on highway safety grounds.

It is therefore considered that the proposal would not discernibly exacerbate congestion or parking stress, and would not raise any highway safety concerns, in accordance with Local Plan Part 2 Development Plan Policies DMT 1, DMT 2 & DMT 6 and Policies 6.3, 6.9, and 6.13 of the London Plan (2016).

A full and detailed CLP would be a requirement given the constraints and sensitivities of the

local residential road network in order to mitigate against damage and disruption to the public realm. If the application is approved, this would be secured by way of a planning condition.

Notwithstanding the above to enable the internal roads to be completed to serve two of the dwellings, works to the road at the end Foxdell would be required, in effect it is not within the ability of the applicant to undertake all necessary works to connect the existing estate road in Foxdell to the extended roadway in Firs Walk, it would require intervention by the Council as highways authority. This therefore would need to be the subject of a legal agreement, as no such legal agreement has been entered and given that the application is being recommended for refusal, this forms a 2nd refusal reason. This is because if no legal agreement is entered into two of the houses would have no vehicular access or parking, which would also be considered unacceptable.

7.11 Urban design, access and security

Design matters have been addressed in Section 07.7 of this report.

Security

Should the application have been considered acceptable, a secured by design condition would have been recommended.

7.12 Disabled access

If the scheme is found acceptable a condition would be recommended to secure the development was built to M4(2) in accordance with Policy 3.8 c of the London Plan.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

Policy DMHB 14 of the Local Plan: Part Two (2020) notes all developments will be expected to retain or enhance the existing landscape, trees, biodiversity and natural features of merit. Planning applications for proposals that would affect existing trees will be required to provide an accurate tree survey showing the location, height, spread and species of trees.

The Trees and Landscaping Officer has advised that the site is not covered by a TPO or situated within a Conservation Area. The proposal is an outline application with some matters reserved. The current proposal retains house No.6 and proposes three new detached houses and gardens. Landscape is one of the reserved matters, however, the site layout plan, by Ascot Design, indicates that there is space and opportunity for providing green infrastructure in the form of private gardens, which should be conditioned to complement the character and appearance of the area.

7.15 Sustainable waste management

Not applicable to this application.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

Not applicable to this application.

7.18 Noise or Air Quality Issues

Not applicable to this application.

7.19 Comments on Public Consultations

With regards to comments received with regards to the status of Foxdell, the highways

officer has advised that Plot 1 takes advantage of established vehicular and pedestrian rights of way which exist for No's 5 & 6 Firs Walk (the roadway is private). Plots 2 & 3 would require a new vehicular and pedestrian access solely from Foxdell which according to our records is an adopted public highway. So at present there are no established rights of access to these two plots. However, it should be noted that even if Foxdell were to be deemed as private (unadopted), this roadway has, to date, been open to pedestrian and vehicular traffic which includes residents of Foxdell and all other members of the public who wish to enter and leave the road on foot or by car. In that case the road would still be considered as a public highway (albeit unadopted) as unfettered access has been allowed, thereby establishing prescriptive rights of access for all and this therefore would not preclude new development, which in any event is still subject to the usual planning/highway scrutiny. On the basis of the above, the status of Foxdell as a road is not relevant to the determination of this application.

In relation to construction management, disruption during development is considered transitory in nature and not sufficient justification to refuse consent in its own right. Issues of land ownership and rights of access are civil matters between interested parties and not material planning considerations. Any grant of planning approval does not override the requirements of the developer to comply with other legislation or confer any grant of access to land outside of their control. Also the potential impact on property values is not a material planning consideration.

7.20 Planning obligations

The Council adopted its own Community Infrastructure Levy (CIL) on August 1st 2014 and the Hillingdon CIL charge for residential developments is £95 per square metre of additional floorspace. This is in addition to the Mayoral CIL charge of £60 per sq metre.

7.21 Expediency of enforcement action

Not relevant to this proposal.

7.22 Other Issues

None.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing

the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable.

10. CONCLUSION

This application seeks outline permission for the demolition of no. 5 Firs Walk and the erection of 3 new dwellings. The details for the access to the site have been included; all other matters are reserved.

The proposal provides a net increase in two family dwellinghouses, the weight to be afforded this however has been considered in light of the Council's ability to demonstrate a five year land supply. The proposal would result in the significant loss of land used as back gardens and therefore it will impact the functions it serves in relation to local character, amenity space and supporting biodiversity.

The benefit of two additional family dwellinghouses does not outweigh the significant harm caused by the loss of the existing back garden land.

To enable the internal roads to be completed to serve two of the dwellings, works to the

road at the end Foxdell would be required, in effect it is not within the ability of the applicant to undertake all necessary works to connect the existing estate road in Foxdell to the extended roadway in Firs Walk, it would require intervention by the Council as highways authority. This would need to be the subject of a legal agreement, as no such legal agreement has been entered into this forms a 2nd refusal reason. If no legal agreement is entered into two of the houses would have no vehicular access or parking, which would also be considered unacceptable.

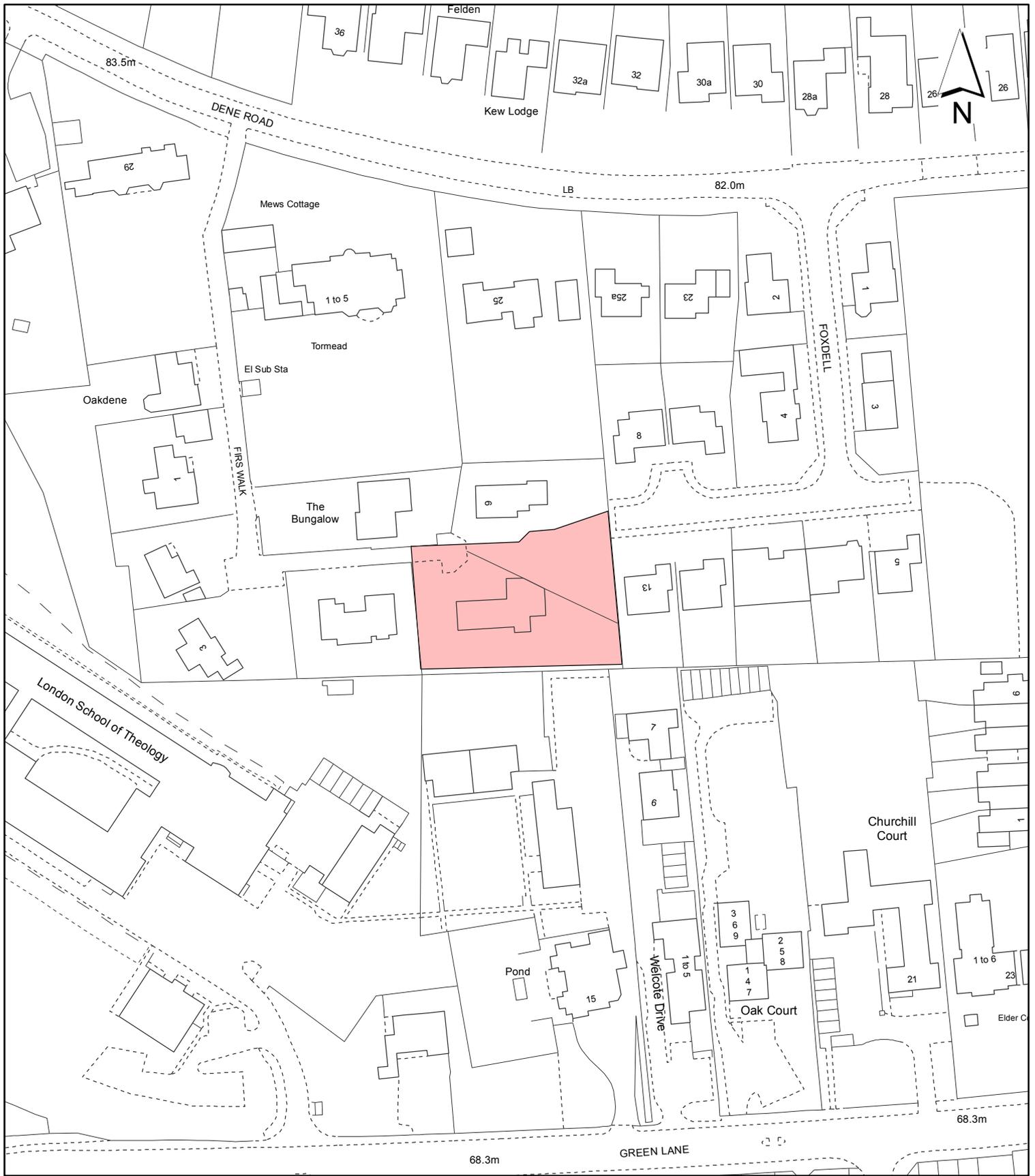
The application is therefore recommended for refusal for the above two reasons.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Development Management Policies (Jan 2020)
Hillingdon Local Plan: Part Two - Site Allocations and Designations (Jan 2020)
The London Plan (2016)
Mayor of London's adopted Supplementary Planning Guidance - Housing (March 2016)
National Planning Policy Framework

Contact Officer: Liz Arnold

Telephone No: 01895 250230



Notes:

 Site boundary

For identification purposes only.
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Site Address:

**5 & 6 Firs Walk
 Northwood**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:
30837/APP/2019/3096

Scale:
1:1,250

Planning Committee:
North Page 23

Date:
June 2020



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Report of the Head of Planning, Transportation and Regeneration

Address 15 KEWFERRY ROAD NORTHWOOD

Development: Retrospective application for a single storey rear extension and front boundary wall and gates

LBH Ref Nos: 26090/APP/2020/300

Drawing Nos: Location Plan
Block Plan
A110 - Proposed Boundary Wall
A111 - Proposed Ground Floor Plan
A108 - Proposed Elevations
A108 - Existing Elevations
A109 - Existing Visuals
A111 - Existing Ground Floor Plan

Date Plans Received:	29/01/2020	Date(s) of Amendment(s):	06/05/2020
Date Application Valid:	18/02/2020		14/02/2020
			19/02/2020
			29/01/2020

1. CONSIDERATIONS

1.1 Site and Locality

The application site is located on the Western side of Kewferry Road and comprises a two storey detached property set within a generous plot. The property currently benefits from a part single storey part two storey side extension and a single storey rear extension. To the front of the property, hard surfacing is available for 2 parking spaces. To the rear is a landscaped garden.

The street scene is residential in character and appearance comprising principally detached two storey arts and crafts styled properties. The application site lies within the 'Developed Area' as identified in the Hillingdon Local Plan: Part One - Strategic Policies (November 2012). The site is also covered by Tree Preservation Order (TPO) 118.

1.2 Proposed Scheme

The application seeks retrospective planning consent for the retention of the single storey rear extension and the front boundary wall and gates.

1.3 Relevant Planning History

26090/78/2022 15 Kewferry Road Northwood
Householder development - residential extension(P)

Decision Date:	16-01-1979	Approved	Appeal:
	26090/APP/2004/1066	15 Kewferry Road Northwood	

ERECTION OF TWO STOREY SIDE EXTENSION, SINGLE STOREY REAR EXTENSION AND REAR CONSERVATORY AND FRONT DORMER WINDOW

Decision Date: 22-10-2004 Approved **Appeal:**

26090/APP/2004/195 15 Kewferry Road Northwood

ERECTION OF TWO-STOREY SIDE EXTENSION, SINGLE-STOREY REAR EXTENSION, AND FRONT FACING DORMER WINDOW

Decision Date: 16-03-2004 Refused **Appeal:**

26090/APP/2016/4541 15 Kewferry Road Northwood

Single storey side and single storey rear extension

Decision Date: 20-02-2017 Approved **Appeal:**

26090/APP/2017/2357 15 Kewferry Road Northwood

First floor side extension, single storey rear extension and conversion of roof space to habitable use to include a rear dormer, 2 front rooflights and 3 side rooflights

Decision Date: 24-08-2017 Approved **Appeal:**

26090/APP/2019/1932 15 Kewferry Road Northwood

Single storey outbuilding for use as a summerhouse (Application for a Certificate of Lawful Development for an Proposed Development)

Decision Date: 30-07-2019 Approved **Appeal:**

26090/APP/2019/1934 15 Kewferry Road Northwood

Front canopy with open porch and 3 columns

Decision Date: 01-08-2019 Refused **Appeal:**

26090/APP/2019/2858 15 Kewferry Road Northwood

Single storey outbuilding to rear for use as a summer house/store

Decision Date: 18-10-2019 Approved **Appeal:**

26090/APP/2019/2860 15 Kewferry Road Northwood

Single storey front extension and porch/canopy

Decision Date: 22-10-2019 Approved **Appeal:**

26090/C/86/2075 15 Kewferry Road Northwood

Householder extension-two storey side ext.(P)

Decision Date: 10-02-1987 Approved **Appeal:**

26090/D/89/2332 15 Kewferry Road Northwood

Erection of a single storey rear extension and front dormer

Decision Date: 17-07-1990 Approved **Appeal:**

Comment on Planning History

Planning approval was granted under application 26090/APP/2017/2358 for a first floor side extension and a single storey rear extension. This consent has been implemented and is

largely complete, however the rear extension was not built in accordance with the approved plans.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

14 neighbouring properties and the Northwood Residents Association were consulted for a period of 21 days expiring on the 12 March 2020. A site notice was erected on the lamp post to the front expiring on 23 March. 3 responses were received raising the following issues:

- Several departures to original applications including the summer house windows; the wall to the side of the development is poorly built without pointing and fronted by a large fence and the side wall at the back is higher; the soil pipe was shown as reaching the top of the dormer but only reaches the bottom
- The front wall is constructed with two gates as if there is to be a carriage drive. The front garden is too small for such a feature
- Loss of landscaping
- Submitted application is inaccurate as the roof extension was completed August 2019 and wall, November 2019. The roof does not show the actual height and the side wall is around 4m high
- Hillingdon Council only allows one entrance to single addresses. A second gate will allow in and out egress. It looks unsightly and will stop people parking in a legitimate place
- The current building works started in May 2017 and is still a building site. No further work should be permitted except for finishing the existing approved plans
- Part of a neighbouring property has been damaged with legal action pending
- Concerns that building regulations have not been complied with
- This proposal is impacting the sale of neighbouring properties
- Whilst there are in and out drives on Kewferry Road, they are on wider plots than no. 15

A petition against the proposal was also received.

Two different Ward Councillors have also written to indicate concerns in line with those cited by residents concerning the proposals.

Officer response: The issues raised have been noted. The planning process cannot control the length of time construction may take. Any issues of damage to adjoining properties are a civil matter between interested parties. Compliance with Building Regulations is a matter under a separate legislative framework, the planning outcome does not override the need to comply with other relevant legislation.

INTERNAL CONSULTEES

Trees and Landscaping Officers

The site lies within the area covered by TPO 118, however, a protected Horse chestnut (T45 on the schedule), is no longer present in the back garden. The site has been the subject of several recent submissions, including application ref. 2019/2860 which was approved. While there is no objection to the rear extension the front wall detail is completely

out of character with the front boundary treatments in this area. Where most front boundaries are open, or simple and low (approx. 1 metre high), the proposal is for a combination of ornamental walls and railings <1800mm high. The result will be too 'defensible' and urban in character.

RECOMMENDATION Unacceptable due to the inappropriate character and appearance of the boundary treatment.

Highways Officer

The front boundary wall, as presented, peaks at a height of approximately at 1.7m. Although not clearly shown on plan, it is presumed that two sliding 'vertical rail' gate openings are proposed with one positioned 'near on' opposite the existing carriageway crossing with the other facing a full height kerb. This would infer that a second carriageway crossing is likely to be requested. As Kewferry Road is not designated as 'Classified' in the Council's hierarchy of roads there is no planning requirement to apply for such a provision at this stage. However any second crossing request (or adjustment of the existing) would be subject to a separate vetting process post-planning permission (if afforded) made to our Highway Services division who would then determine the acceptability (or otherwise) of such a proposal.

It is assumed that the sliding gate/s would operate electronically which allows for an effective discharge of vehicles entering the address from the public roadway. On safety and traffic congestion grounds this method of operation must be applied. The 'vertical rail' treatment of the front wall will also aid mutual sight-line inter-visibility between all vehicular and pedestrian users of the address and public highway hence there is no in principle objection to the proposal.

4. **Local Plan Designation and London Plan**

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMHB 11 Design of New Development

DMHB 12 Streets and Public Realm

DMHD 1 Alterations and Extensions to Residential Dwellings

DMT 2 Highways Impacts

DMT 6 Vehicle Parking

LPP 3.5 (2016) Quality and design of housing developments

5. **MAIN PLANNING ISSUES**

The main issues for consideration in determining this application relate to the effect of the proposal on the character and appearance of the original dwelling, the impact on the visual amenities of the surrounding area, the impact on residential amenity of the neighbouring dwellings and provision of acceptable residential amenity for the application property. There

is no impact on parking provision as a result of this development.

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) requires all new development to maintain the quality of the built environment including providing high quality urban design.

Policy DMHB 11 of the Local Plan: Part Two - Development Management Policies (2020) advises that all development will be required to be designed to the highest standards and incorporate principles of good design. It should take into account aspects including the scale of the development considering the height, mass and bulk of adjacent structures; building plot sizes and established street patterns; building lines and streetscape rhythm and landscaping. It should also not have an adversary impact on the amenity, daylight and sunlight of adjacent properties and open space.

Policy DMHD 1 requires that alterations and extension of dwellings would not have an adverse cumulative impact on the character and appearance of the street scene, and should appear subordinate to the main dwelling. It advises that a rear extension of 4m in depth with a pitched roof not exceeding 3.4m would be acceptable. The design, materials and height of any front boundary must be in keeping with the character of the area to ensure harmonisation with the existing street scene.

The application site has extensive planning history. This proposal seeks to regularise a single storey rear extension that was not built in accordance with the plans approved under application 26090/APP/2017/2357 (24-08-17).

The rear extension measures the full width of the property and to the rear of the side extension at a depth of 3.6m as previously approved. The northern part of the rear extension of 3.3m in width is set beneath a pitched roof of 4.15m in height. The rest of the extension is set beneath a flat roof of 3.4m, with a side parapet along the shared boundary with no. 13 at a height of 3.75m. Set within the flat roof is a large roof lantern with a maximum height of 4.4m. It is acknowledged that the height of the extension would marginally exceed the parameters advised in policy DMHD 1. However having regard to the scale of the existing dwelling and plot within which it is set, the proposal is considered acceptable. The proposal would be situated to the rear of the dwelling and not visible from the street and as such, in terms of appearance the extension is considered acceptable and would not be detrimental to the character and appearance of the wider area.

With regard to the amenity of the neighbouring properties it is noted that both adjacent dwellings already benefit from extensions to the rear. To the north no. 17 is set back by approximately 3.8m, with a detached outbuilding on the shared boundary, set back 1.7m from the original rear wall of no. 15 and 1.4m from the rear of no. 17. This building has a depth of 5.3m set beneath a pitched roof and is divided in half for use of each property. To the other side, no 13 is set back a minimum of 1m from the shared boundary and also benefits from a single storey rear extension, with a steep pitched roof extended up to just under the window height. The proposed extension would project approximately 1.15m beyond this. Therefore it is not considered that the proposed extension would significantly harm the residential amenities of the occupiers of the adjoining properties from increased overshadowing, loss of sunlight, visual intrusion and over-dominance.

The windows will face the rear garden of the application site. Therefore it is not considered the proposal would result in any additional overlooking or loss of privacy to that already in existence.

On balance, the proposed extension would comply with the principles of Policies DMHB 11 and DMHD 1 Local Plan: Part Two - Development Management Policies (2020).

Policy DMHB 14 of the Local Plan: Part Two (2020) notes all developments will be expected to retain or enhance the existing landscaping, trees, biodiversity and natural features of merit.

To the front of the property, a brick wall with railings above and two gated vehicular accesses is proposed. The front boundary measures 11.9m in width. The front boundary would measure (cumulative height) 2m in height. The proposed northern gate would measure 3.04m in width set back 1.36m from the northern side boundary and the southern gate would measure 2.9m in width set back 1.37m from the southern boundary.

Whilst concerns have been raised with regards to the creation of two vehicular accesses at this site, it is noted that prior to the commencement of works on the property the front garden had been laid out in this fashion, with openings to both sides and a central planted area was set within a bed fronted by a dwarf wall. The southern most opening was served by a dropped kerb as existing. As advised by the Highway Officer, the second gateway would infer that a second carriageway crossing is likely to be requested. As Kewferry Road is not designated as 'Classified' in the Council's hierarchy of roads there is no planning requirement to apply for such a provision at this stage. However a second crossing request (or adjustment of the existing) would be subject to a separate process once planning permission is granted to the Highway department who would then determine the acceptability (or otherwise) of such a proposal.

The distinctive feature of the surrounding area are frontages characterised by low brick walls or fences and verdant features such as hedges and soft landscaping. In considering the design and siting of front boundary treatments a balance has to be struck between privacy, safety and security on the one hand, and aesthetic considerations on the other. The need for security does not outweigh other relevant material planning considerations such as the visual impact.

The 2m high walls with railings is out of character within the immediate streetscene and the surrounding area. Due to its design and use of materials and lack of soft landscaping, the proposal creates a dominant gap and oppressive streetscene. The inappropriate boundary treatment is out of keeping with the streetscene and detrimental to the character and appearance of the area and as such the proposal fails to comply with the requirements of Policies DMHB 11, DMHB 14 and DMHD 1 Local Plan: Part Two - Development Management Policies (2020).

It is considered that all the proposed habitable rooms would maintain an adequate outlook and source of natural light, therefore complying with Policy 3.5 of the London Plan (2016).

Policy DMHD 1 (appendix A, Part A) vi), states that for alterations and extensions to residential dwellings; adequate garden space should be retained. The property benefits from a good sized rear garden and adequate space would be retained.

6. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 Non Standard reason for refusal

The proposed front garden, boundary treatment and gates, by reason of their size, scale and design would significantly erode and detract from the verdant character and appearance of the street scene and have a detrimental appearance on the character and appearance of the streetscene contrary to Policies BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), and Policies DMHB 11, DMHB 14 and DMHD 1 Local Plan: Part Two - Development Management Policies (2020).

INFORMATIVES

- 1 On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8 November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.
- 2 In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from the Local Plan Part 1, Local Plan Part 2, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service.

Standard Informatives

- 1 The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
- 2 The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

Part 1 Policies:

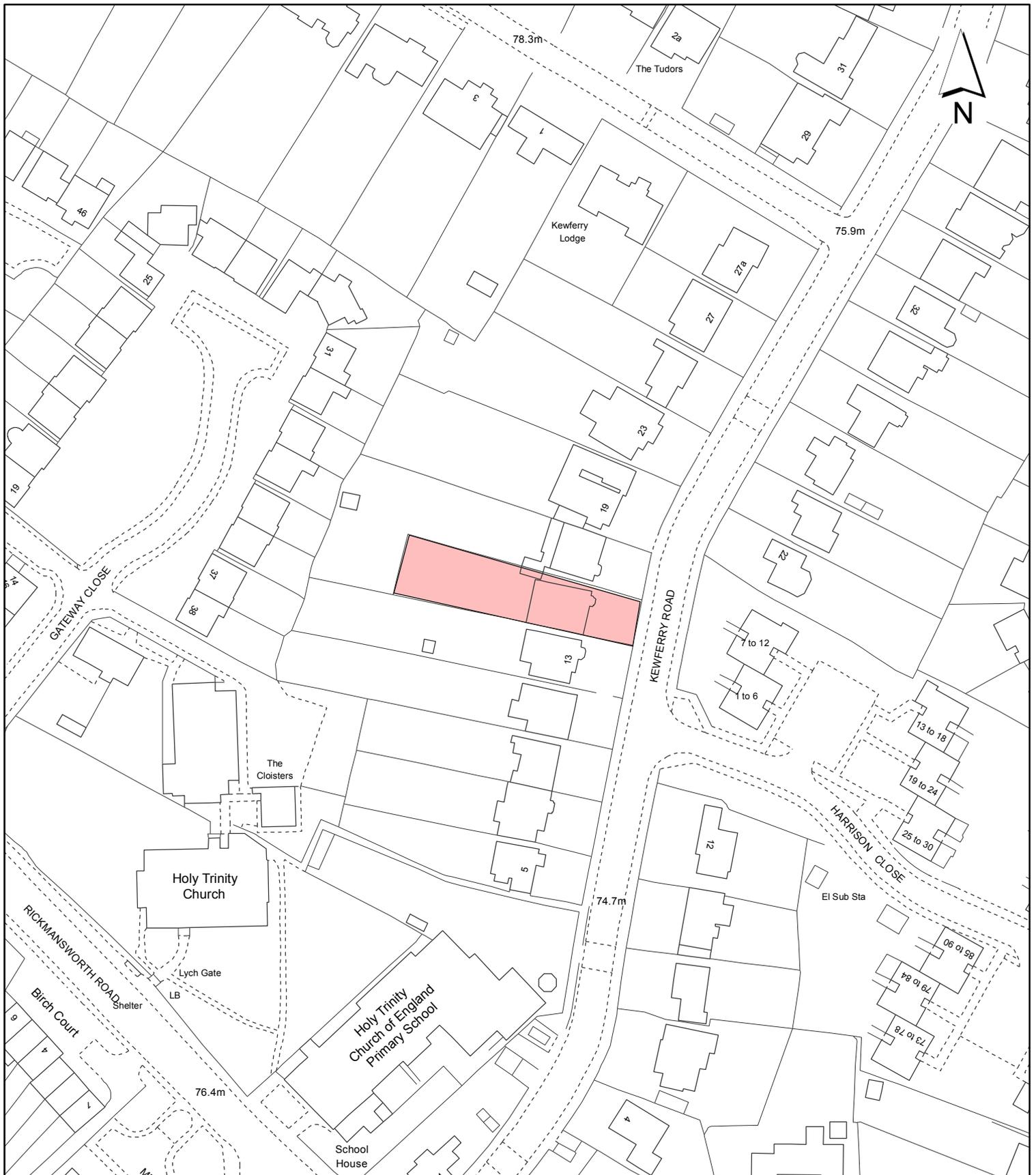
PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMHB 11 Design of New Development
DMHB 12 Streets and Public Realm
DMHD 1 Alterations and Extensions to Residential Dwellings
DMT 2 Highways Impacts
DMT 6 Vehicle Parking
LPP 3.5 (2016) Quality and design of housing developments

Contact Officer: Liz Arnold

Telephone No: 01895 250230



Notes:

 Site boundary

For identification purposes only.
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Site Address:

**15 Kewferry Road
 Northwood**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

26090/APP/2020/300

Scale:

1:1,250

Planning Committee:

North Page 33

Date:

June 2020



HILLINGDON
 LONDON

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Report of the Head of Planning, Transportation and Regeneration

Address 48 MURRAY ROAD NORTHWOOD

Development: Demolition of the existing bungalow and the erection of 4 x 2-storey detached dwellings with habitable roof space with parking, amenity, cycle provision, refuse and external landscaping and associated works

LBH Ref Nos: 9357/APP/2019/4133

Drawing Nos: Arboricultural Planning Statement
Transport Note
7283-02 Rev. C
7283-01 Rev. C
7283.PH Rev. C
7283-BP Rev. C
7283-LP Rev. C
7283-03 Rev. G
7283-04 Rev. G
7283-05 Rev. G
7283-06 Rev. G
7283-07 Rev. G
7283-08 Rev. G
7283-09 Rev. G
7283-10 Rev. G
7283-11 Rev. G
7283-12 Rev. G
7283-13 Rev. G
7283-14 Rev. G
7283-15 Rev. G
7283-16 Rev. G
7283-17 Rev. G
7283-18 Rev. G

Date Plans Received: 23/12/2019 **Date(s) of Amendment(s):** 09/01/2020
Date Application Valid: 08/01/2020 23/12/2019

1. **SUMMARY**

The application seeks full planning permission for the demolition of the existing single storey bungalow and the erection of a terrace of 3 x 4 bed dwellings and 1 x 4 bed detached dwelling with amenity space, car parking, landscaping and associated works. The redevelopment of the site is considered acceptable in principle. The proposed design is considered appropriate within the site's context and the proposal would not have an adverse impact on the amenity of neighbouring properties or the local highways network. For the reasons outlined within this report, this application is recommended for approval.

2. **RECOMMENDATION**

APPROVAL subject to the following:

1 RES3 **Time Limit**

The development hereby permitted shall be begun before the expiration of three years

from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990

2 RES4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers: 7283-03 Rev. G, 7283-04 Rev. G, 7283-05 Rev. G, 7283-06 Rev. G, 7283-07 Rev. G, 7283-08 Rev. G, 7283-09 Rev. G, 7283-10 Rev. G, 7283-11 Rev. G, 7283-12 Rev. G, 7283-13 Rev. G, 7283-14 Rev. G, 7283-15 Rev. G, 7283-16 Rev. G, 7283-17 Rev. G, 7283-18 Rev. G, Arboricultural Planning Statement and Transport Note and shall thereafter be retained and maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan Part 1 (2012), Part 2 (2020) and the London Plan (2016).

3 RES7 Materials (Submission)

Prior to above ground works, details of all materials and external surfaces, including details of balconies have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy DMHB 11 of the Hillingdon Local Plan Part 2 (2020).

4 RES8 Tree Protection

No site clearance or construction work shall take place until the details have been submitted to, and approved in writing by, the Local Planning Authority with respect to:

1. A method statement outlining the sequence of development on the site including demolition, building works and tree protection measures.
2. Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority. Such fencing should be a minimum height of 1.5 metres.

Thereafter, the development shall be implemented in accordance with the approved details.

The fencing shall be retained in position until development is completed.

The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

- 2.a There shall be no changes in ground levels;

- 2.b No materials or plant shall be stored;
- 2.c No buildings or temporary buildings shall be erected or stationed.
- 2.d No materials or waste shall be burnt; and.
- 2.e No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

3. Where the arboricultural method statement recommends that the tree protection measures for a site will be monitored and supervised by an arboricultural consultant at key stages of the development, records of the site inspections / meetings shall be submitted to the Local Planning Authority.

REASON

To ensure that trees and other vegetation can and will be retained on site and not damaged during construction work and to ensure that the development conforms with policy DMHB 14 of the Hillingdon Local Plan Part 2 (2020)

5 RES10 Tree to be retained

Trees, hedges and shrubs shown to be retained on the approved plans shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority. If any retained tree, hedge or shrub is removed or severely damaged during (or after) construction, or is found to be seriously diseased or dying, another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'

Remedial work should be carried out to BS BS 3998:2010 'Tree work - Recommendations' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy DMHB 14 of the Hillingdon Local Plan Part 2 (2020) and to comply with Section 197 of the Town and Country Planning Act 1990.

6 RES9 Landscaping (car parking & refuse/cycle storage)

Prior to above ground works, a landscape scheme shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

- 1. Details of Soft Landscaping
 - 1.a Planting plans (at not less than a scale of 1:100),
 - 1.b Written specification of planting and cultivation works to be undertaken,
 - 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate

2. Details of Hard Landscaping
 - 2.a Refuse Storage
 - 2.b Cycle Storage for 8 cycle spaces
 - 2.c Means of enclosure/boundary treatments
 - 2.d Car Parking Layouts for 8 cars including details of electric vehicle charging provision for 1 space and passive provision for 1 space
 - 2.e Hard Surfacing Materials
 - 2.f External Lighting
3. Living Walls and Roofs
 - 3.a Details of the inclusion of living walls and roofs with nectar rich planting
 - 3.b Justification as to why no part of the development can include living walls and roofs
4. Details of Landscape Maintenance
 - 4.a Landscape Maintenance Schedule for a minimum period of 5 years.
 - 4.b Proposals for the replacement of any tree, shrub, or area of surfacing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.
5. Schedule for Implementation
6. Other
 - 6.a Existing and proposed functional services above and below ground
 - 6.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies DMHB 11, DMHB 12, DMHB 14, DMEI 1 and DMT 2 of the Hillingdon Local Plan Part 2 (2020) and Policies 5.11 and 5.17 of the London Plan (2016).

7 NONSC Refuse arrangements

Notwithstanding the approved plans, prior to above ground works, a scheme for separate access, storage and collection of domestic waste for Houses A-C from Lingfield Close shall be submitted to and approved in writing by the Local Planning Authority. Details shall include boundary treatments, siting, size and appearance of refuse and recycling facilities on the premises and refuse collection points. The development hereby permitted shall not be occupied until the approved scheme has been implemented and these facilities should be retained permanently thereafter.

REASON

To ensure that satisfactory provision is made, in the interests of amenity and to ensure that the visual appearance of such provision is satisfactory in compliance with Policies DMHB 11, DMHB 12, DMHB 14 of the Hillingdon Local Plan Part 2 (2020).

8 RES15 Sustainable Water Management (changed from SUDS)

No development approved by this permission shall be commenced until a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that sustainable drainage systems (SUDS) have been incorporated into the designs of the

development in accordance with the hierarchy set out in accordance with Policy 5.15 of the London Plan and will:

- i. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation; and
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- iv. provide details of water collection facilities to capture excess rainwater;
- v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

REASON

To ensure the development does not increase the risk of flooding in accordance with Policy DME1 10 of the Hillingdon Local Plan Part 2 (2020) and London Plan (2016) Policy 5.12.

9 RES24 Secured by Design

The dwelling site shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No dwelling shall be occupied until accreditation has been achieved.

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to ensure the development provides a safe and secure environment in accordance with policy DMHB 15 of the Local Plan Part 2 (2020) and Policies 7.1 and 7.3 of the London Plan (2016) .

10 NONSC Construction Management Plan

No development shall take place until a full and detailed Construction Logistics Plan (CLP) has been submitted to and approved in writing by the Local Planning Authority. The CLP will be a requirement given the constraints and sensitivities of the local residential road network in order to minimise/avoid potential detriment to the public realm.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with Policies DMHB 11, DMHB 12, DMHB 14, and DMT 2 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2016).

11 RPD1 Outbuildings, extensions and roof alterations

Immediately following the implementation of this permission, notwithstanding the provisions of Part 1, Classes A, B, C, D, E & F or Part 2, Class A & C of Schedule 2 to the

Town and Country Planning (General Permitted Development) Order 2015 (or any other revoking and re-enacting that order with or without modification). No development of any of the above classes shall be constructed or placed on any part of the land subject of this permission without such consent as aforesaid.

REASON

To ensure adequate planning control over further development having regard to the limitations of the site and neighbouring properties and in the interests of the visual amenities of the site and the area in general, in accordance with Policies Policy DMHB 11, DMHB 12 and DMHB 14 of the Hillingdon Local Plan Part 2: Development Management Policies (January 2020).

12 NONSC Boundary Treatment

Notwithstanding the approved plans, prior to first occupation of the development hereby permitted, a plan indicating the positions, design, materials and type of boundary treatment to be erected on the site shall be submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be erected prior to occupation in accordance with the approved details and shall be permanently maintained as such thereafter.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies DMHB 11, DMHB 12, DMHB 14, DMEI 1 and DMT 2 of the Hillingdon Local Plan Part 2 (2020) and Policies 5.11 and 5.17 of the London Plan (2016).

13 NONSC Car Parking Management

A parking management plan, including details of the allocation of vehicle parking spaces within the development and long term management responsibilities and maintenance schedules for all communal parking areas, shall be submitted to and approved in writing by the Local Planning Authority prior to the occupation of the development hereby approved. The parking management plan shall be carried out in accordance with the approved details thereafter.

REASON

To ensure that satisfactory off-street parking is provided within the development so as not to prejudice the free flow of traffic and in the interests of highway safety on neighbouring highways in accordance with Policies DMT 1, DMT 2 and DMT 6 of the Hillingdon Local Plan Part 2 (2020).

14 NONSC Access Road

Prior to the construction of the access road details of the exact layout, dimensions and construction method shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the access road shall be constructed in accordance with the approved details and maintained for the lifetime of the development.

REASON

To safeguard highway safety and to maintain the free flow of traffic in accordance with Policies DMT 1 and DMT 2 of the Hillingdon Local Plan: Part 2 Development Management Policies (January 2020).

15 RPD3 Obscured Glazing

The window in the side dormer on the proposed detached dwelling (House D) facing south

west towards Leaf Close shall be glazed with permanently obscured glass for so long as the development remains in existence.

REASON

To prevent overlooking to adjoining properties in accordance with policy Policy DMHB 11 of the Hillingdon Local Plan Part 2: Development Management Policies (January 2020)

16 NONSC M4(2) Dwelling

The dwellings hereby approved shall be constructed to meet the standards for a Category 2 M4(2) dwelling, as set out in Approved Document M to the Building Regulations (2010) 2015, and all such provisions shall remain in place for the life of the building.

REASON

To ensure that an appropriate standard of housing stock, in accordance with London Plan policy 3.8 c, is achieved and maintained.

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

DMH 1	Safeguarding Existing Housing
DMH 2	Housing Mix
DMH 4	Residential Conversions and Redevelopment
DMH 6	Garden and Backland Development
DMHB 11	Design of New Development
DMHB 12	Streets and Public Realm
DMHB 14	Trees and Landscaping
DMHB 16	Housing Standards
DMHB 17	Residential Density
DMHB 18	Private Outdoor Amenity Space
DMT 1	Managing Transport Impacts
DMT 2	Highways Impacts
DMT 6	Vehicle Parking
LPP 3.5	(2016) Quality and design of housing developments
LPP 7.4	(2016) Local character
LPP 7.5	(2016) Public realm
LPP 7.6	(2016) Architecture

3 I15 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control

of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

4 12 Encroachment

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application may have to be submitted. The validity of this planning permission may be challengeable by third parties if the development results in any form of encroachment onto land outside the applicant's control for which the appropriate Notice under Article 13 of the Town and Country Planning (Development Management Procedure) (England) Order 2015 has not been served.

5 13 Building Regulations - Demolition and Building Works

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Residents Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

6 16 Property Rights/Rights of Light

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

7 147 Damage to Verge - For Council Roads:

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

For Private Roads: Care should be taken during the building works hereby approved to ensure no damage occurs to the verge of footpaths on private roads during construction. Vehicles delivering materials to this development shall not override or cause damage to a private road and where possible alternative routes should be taken to avoid private roads. The applicant may be required to make good any damage caused.

8 159 **Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8 November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.

9 170 **LBH worked applicant in a positive & proactive (Granting)**

In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from Local Plan Part 1, Local Plan Part 2, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service, in order to ensure that the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

10 173 **Community Infrastructure Levy (CIL) (Granting Consent)**

Under the terms of the Planning Act 2008 (as amended) and Community Infrastructure Levy Regulations 2010 (as amended), this development is liable to pay the London Borough of Hillingdon Community Infrastructure Levy (CIL) and the Mayor of London's Community Infrastructure Levy (CIL). This will be calculated in accordance with the London Borough of Hillingdon CIL Charging Schedule 2014 and the Mayor of London's CIL Charging Schedule 2012. Before commencement of works the development parties must notify the London Borough of Hillingdon of the commencement date for the construction works (by submitting a Commencement Notice) and assume liability to pay CIL (by submitting an Assumption of Liability Notice) to the Council at planning@hillingdon.gov.uk. The Council will then issue a Demand Notice setting out the date and the amount of CIL that is payable. Failure to submit a valid Assumption of Liability Notice and Commencement Notice prior to commencement of the development may result in surcharges being imposed.

The above forms can be found on the planning portal at: www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil

Pre-Commencement Conditions: These conditions are important from a CIL liability perspective as a scheme will not become CIL liable until all of the pre-commencement conditions have been discharged/complied with.

3. CONSIDERATIONS

3.1 Site and Locality

The application site lies on the north western side of Murray Road to the rear of Craigmore Court. The existing single storey detached bungalow at 48 Murray Road is accessed via a private access road with a gated entrance. The site is bounded by Craigmore Court and its associated garage block to the south east, 27-39 Leaf Court to the west, 13-26 Grangedale Close to the south and the highway known as Lingfield Close to the north east. Craigmore Court comprises two storey houses arranged in three blocks, Grangedale Close comprises a two storey flatted development and Leaf Close comprises two storey terraced dwellings. The private access road exits onto Murray Road adjacent to 48A Murray Road to the south which is known as Flats 1 to 5 Mansion House and Nos. 15 and 16 Craigmore Court to the north.

The surrounding area is predominantly residential in character, with a mix of higher density apartment blocks and family sized housing units. There is extensive green space within walking distance of the site such as Frithwood Park and the Hog's Back Open Space.

The southern and south western boundaries of the site, including the private access road adjoin land which lies within Tree Preservation Order No. 17. there are no protected trees within the site itself but there are trees along this boundary that are protected and would be affected by any development.

3.2 Proposed Scheme

Full planning permission is sought for the demolition of detached bungalow and erection of a terrace of 3 x 4-bed and 1 x 4 bed detached 3-storey dwellings, modified vehicular access, forecourt parking, refuse and cycle storage and amenity space.

The footprint of each dwelling is set out below:

- House A - upto 11.3m length x 6.7m width
- House B - upto 10.5 m length x 8.07m width
- House C - upto 10.45m length x 8m width
- House D - upto 11.46m length x 7.25m width

The proposed dwellinghouses would be accessed from Murray Road between Craigmore Court and mansion House.

The submitted site plan details 8 car parking spaces and a separate cycle storage area providing 8 cycle spaces would be provided to serve the dwellings.

Each dwelling is provided within the garden. The amenity spaces would provide over 100 sq.m of private amenity space.

Bin storage is being provided within 12m of the public highway.

Officer note: The plans were revised during determination to ensure a 15m separation distance from the nearest flank wall (which does not have any habitable room windows) and Craigmore Court.

3.3 Relevant Planning History

Comment on Relevant Planning History

No relevant planning history.

4. Planning Policies and Standards

Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

The Development Plan for the London Borough of Hillingdon currently consists of the following documents:

The Local Plan: Part 1 - Strategic Policies (2012)
The Local Plan: Part 2 - Development Management Policies (2020)
The Local Plan: Part 2 - Site Allocations and Designations (2020)
West London Waste Plan (2015)
The London Plan - Consolidated With Alterations (2016)

The National Planning Policy Framework (NPPF) (2019) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.

Emerging Planning Policies

Paragraph 48 of the National Planning Policy Framework (NPPF) 2019 states that 'Local Planning Authorities may give weight to relevant policies in emerging plans according to:

(a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);
(b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
(c) the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

Draft London Plan (Intend to Publish Version, December 2019)

The GLA consulted upon a draft new London Plan between December 2017 and March 2018 with the intention of replacing the previous versions of the existing London Plan. The Plan was subject to examination hearings from February to May 2019, and a Consolidated Draft Plan with amendments was published in July 2019. The Panel of Inspectors appointed by the Secretary of State issued their report and recommendations to the Mayor on 8th October.

The Mayor has considered the Inspectors' recommendations and, on the 19th December 2019, issued to the Secretary of State his intention to publish the London Plan along with a statement of reasons for any of the Inspectors' recommendations that the Mayor does not wish to accept.

Limited weight should be attached to draft London Plan policies that have not been accepted by the Mayor or that have only been accepted in part/with significant amendments. Greater weight may be attached to policies that were subject to the Inspector's recommendations and have since been accepted by the Mayor through the 'Intend to Publish' version of the Plan. The weight will then increase as unresolved issues are overcome through the completion of the outstanding statutory process. Greater weight

may also be attached to policies, which have been found acceptable by the Panel (either expressly or by no comment being made).

UDP / LDF Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMH 1 Safeguarding Existing Housing

DMH 2 Housing Mix

DMH 4 Residential Conversions and Redevelopment

DMH 6 Garden and Backland Development

DMHB 11 Design of New Development

DMHB 12 Streets and Public Realm

DMHB 14 Trees and Landscaping

DMHB 16 Housing Standards

DMHB 17 Residential Density

DMHB 18 Private Outdoor Amenity Space

DMT 1 Managing Transport Impacts

DMT 2 Highways Impacts

DMT 6 Vehicle Parking

LPP 3.5 (2016) Quality and design of housing developments

LPP 7.4 (2016) Local character

LPP 7.5 (2016) Public realm

LPP 7.6 (2016) Architecture

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

54 neighbouring properties and the residents association were consulted by letter dated 10/1/2020 and a site notice displayed which expired on 11/2/2020

Three written representations and a signed petition have been received objecting to the proposal summarised as follows: -

- Loss of privacy
- The proposal would result in overlooking
- The proposal is an over development of the site
- The proposal is out of character with the surrounding area

- The proposal would result in the loss of wildlife habitat
- The proposal would result in the loss of trees and landscaping that contribute the character of the area
- The proposal would impact on childrens play space from overlooking
- The land is used by wildlife which is seen from nearby buildings

Officer response: the concerns raised above will be addressed within the body of this report

Internal Consultees

Trees & Landscaping officer:

This application has been supported by an Arboricultural Planning Statement, by AD Tree Consulting, dated 20 December 2019. The report has identified and assessed the condition and value of 19 individual trees and groups which are on, or close to the site.

One off-site lime is a category 'A' tree (T14 on the schedule) and one off-site Scots pine (T3) is a category 'B' tree.

All other trees are 'C' or 'U' grade trees - whose condition and value does not automatically constrain development.

Full tree protection details and an arb. method statement, including on-site arb. supervision, has been provided to ensure that the best trees, T3 and T14, will be safeguarded. Provision is also made for the retention of many other trees.

A few lower quality trees will be removed to enable the development: G7, T8, T9, T10 and G11. Some selected trees will be crown lifted (removal of their lower lateral branches) to facilitate safe site access: G1, T2, T3, T5, T6, G7, T14, T16.

On balance the development will retain and safeguard the sylvan character and appearance of the area, provided that the site is well managed and the arb. recommendations are adhered to.

RECOMMENDATION

No objection.

Highway Engineer:

No objection, the highway officer's comments have been incorporated within the main body of the report.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Paragraph 118 of the NPPF expects planning decisions to give substantial weight to the value of using suitable brownfield land within settlements for homes and other identified needs. It promotes and supports the development of under- utilised land and buildings, especially if this would help to meet identified need.

Policy 3.3 of the London Plan (2016) expects Hillingdon to deliver a minimum of 559 new homes each year until 2025.

Policy H1 of the Local Plan: Part One (2012) requires the Council to exceed or meet its minimum strategic dwelling requirements, where this can be achieved, in compliance with other Local Plan policies.

The proposed development would result in a net gain of three dwellings (four dwellings in

total). The site is not identified as a housing site in the adopted Site Allocations document. Where a site is not identified for development, it may still come forward through the planning application process where it will be tested in accordance with relevant national, London Plan and local policies.

The application site is not considered to be previously developed land and would technically be development on garden land and spreads beyond the footprint of the existing dwelling. Policy DMH6 of the Local Plan Part 2 states that in exceptional cases a limited scale of backland development may be acceptable. This is subject to the neighbour impacts, access road details being acceptable, tree retention and the scale of development being more intimate than directly adjoining neighbours.

The parcel of land has a sprawling bungalow of no architectural merit, it is unusual for such garden parcels in having not only having its own dedicated access road (similar to many garage sites), but in effect a road frontage as well, such that new dwellings would appear to fit into the existing settlement pattern rather than appearing as an incongruous addition to the existing settlement pattern. The development site also sits between garage blocks of neighbouring development. It is noted that the surrounding area has many different developments in terms of age and character ranging from two storey terraced dwellings to flatted developments with a variety of architectural styles. As such there is no consistent building line, street pattern or dwelling type against which to assess the proposal.

In effect given all of the above considerations the development of the land parcel would appear to be a logical redevelopment within the context of its surroundings, rather than an obvious backland development proposal.

Overall there are no objections in principle to the addition of residential development on the application site subject to compliance with the policies set out in the Development Plan.

Housing Mix

The Council's current information on housing need indicates a substantial borough-wide requirement for larger affordable and private market units, particularly 3 bedroom properties. Applicants proposing residential schemes are required to demonstrate that this need has been taken into account in line with Policy DMH 2 of the Local Plan: Part 2 (2020) and Policy H10 of the Intend to Publish Version of the London Plan (2019). The proposal seeks to provide 4 x 4 family sized homes for which there is a borough-wide requirement and as such, the proposed unit mix is considered acceptable.

7.02 Density of the proposed development

Policy 3.4 of the London Plan (2015) seeks to ensure that the new development takes into account local context and character, the design principles in Chapter 7 and public transport capacity development should optimise housing output for different types of location within the relative density range shown in Table 3.2. Development proposals which compromise this policy should be resisted.

The site has a Public Transport Accessibility Level (PTAL) of 2 (poor). The London Plan (2015) range for sites with a PTAL of 2 - 3 in a suburban area is 35-65 units per hectare. Based on a total site area of 0.1700 ha the site would have a residential density of 23 units per hectare, which is below this range.

The density matrix, however, is only of limited value when looking at small scale development such as that proposed with this application. In such cases, it is often more appropriate to consider how the development harmonises with its surroundings and its impact on adjoining occupiers.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The application site itself does not lie within a conservation area nor are there listed buildings nearby that could be impacted by the proposal. The Northwood Town Centre and Green Lane Conservation Area is situated 113 to the east or 130 sq.m to the north of the site. Given the scale of the proposal and the number of buildings between the application site and Northwood Town Centre and Green Lane Conservation Area, the proposal would not have an impact on the character and setting of the Conservation Area.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policy 7.1 of the London Plan (2016) sets out a series of overarching design principles for development in London and Policy 7.6 (2016) seeks to promote world-class, high quality design and design-led change in key locations. In addition to Chapter 7 of the London Plan (2016) policies relating to density (3.4) and sustainable design and construction (5.3) are also relevant.

Policy BE1 of the Local Plan: Part 1 (November 2012) requires all new development to improve and maintain the quality of the built environment in order to create successful and sustainable neighbourhoods, where people enjoy living and working and that serve the long-term needs of all residents.

Policy DMHB 11 of the Local Plan: Part Two (2020) requires new developments to be designed to the highest standards and, incorporate principles of good design by harmonising with the local context by taking into account scale, height, mass and bulk, building plot sizes and widths, plot coverage and established street patterns; building lines and setbacks, rooflines, streetscape rhythm.

The main area of the site to be redeveloped lies approximately 80 metres from Murray Road as such it's impact on the streetscene would be limited. It is noted that the surrounding area has many different developments in terms of age and character ranging from two storey terraced dwellings to flatted developments with a variety of architectural styles. As such there is no consistent building line, street pattern or dwelling type against which to assess the proposal.

A terrace of three dwellings (Houses A, B and C) are proposed on the north eastern boundary with rear gardens adjoining Lingfield Close with their principal elevations facing south west. The fourth detached dwelling (House D) is proposed on south western boundary with its principal elevation facing south east. The terrace of three dwellings will be 3-storey. The front elevations of the terraced dwellings will have a two storey gable end and a front balcony at first floor level. The detached dwelling will have a front elevation that will face down the private road and will also have a side dormer to enable roof space accommodation.

The scheme proposed traditional design featuring red bricks, timber rooflights, coping stone and timber doors and timber sash windows with slimlite double glazing with white timber railings which is considered appropriate. The houses would broadly be of uniform size set generally in rectangle shaped plots with a front forecourt and private amenity spaces to the rear. In conclusion, is not considered that the proposed development would be out of character with the built form within the vicinity of the application site.

In terms of refuse storage, the Local Plan states in paragraph 5.42 of the Local Plan: Part Two (2020) the sustainable management of waste is integral to any development and needs to be factored into its design at the outset. Waste has the potential to be a nuisance and may cause serious problems if it is not managed properly, therefore all proposals for new development are expected to provide satisfactory arrangements for the internal and external storage and collection of general waste, recycling and organic waste. External bins should be located and screened to avoid adverse visual impacts and nuisance to both occupiers and neighbours.

As noted above, the proposed dwellings would be situated at least 80m from the entrance of the site on Murray Road. The applicant proposes to provide a bin store along the private access road which would be situated 12m from the entrance along Murray Road just before the gated entrance into the site, so waste may be collected conveniently from Murray Road. It would however require residents to carry their waste and recycling approximately 80m to 90m from their houses down the private access road, past the gated entrance, to the bin store. The applicant considers that it is in the interest of each resident to have their waste collected and therefore such an arrangement is on balance considered acceptable (Note: It is possible for 3 of the 4 dwellings to have refuse collection off Lingfield Close, as explained in more detail the sustainable waste management heading of this report). The proposed bin store and any lighting along the private road would have a visual impact on Murray Road and as such details of the bin store and any external lighting across the site is required by way of a condition to mitigate against its impact.

Subject to the inclusion of condition relating to external materials, landscaping and waste storage the proposal is on balance considered acceptable in design terms.

7.08 Impact on neighbours

Policy DMHB 11 of the Hillingdon Local Plan Part 2: Development Management Policies (January 2020) require the design of new developments to protect the amenity and privacy of neighbouring dwellings. Also the proposed development should not breach the 45 degree guideline when taken from the rear elevation of the neighbouring dwelling, ensuring no significant loss of light, loss of outlook or sense of dominance in accordance with Policy DMHB 11 of the Hillingdon Local Plan Part 2: Development Management Policies (January 2020) which states that development proposals should not adversely impact on the amenity of adjacent properties and open space.

It is noted that the 21 m distance is exceeded when measuring from the proposed dwellings and the neighbouring properties at Craigmere Court to the south east, 27-39 Leaf Court to the west and 13-26 Grangedale Close to the south.

No first floor windows are proposed in the south east flank elevation of House C facing towards Craigmere Court properties where the separation distance is 15m. No first floor windows are proposed in the south west flank elevation of House D facing towards Leaf Court properties. A side dormer is proposed in House D and the dormer window would serve a bathroom and therefore be obscure glazed and non opening below 1.8m. In addition the separation distance to the Leaf Close and Grangedale Close properties is in excess of 21m. This could be secured by condition should planning permission be forthcoming. First floor windows are proposed in the rear elevation of the terraced properties (House A, B and C) which face north towards the properties on the opposite side of the highway known as Lingfield Close however, the separation distance is in excess of 21m. Therefore it is considered that there would be no adverse effect on the residential amenities of these neighbouring properties.

House D is orientated so that the front entrance faces down the access road to prevent front elevation facing windows to the proposed terraced properties labelled Houses A, B and C. House D now has a side elevation facing these properties and no windows are proposed at first floor level. Plans indicates that there will be three bricked in window recesses at first floor level to match the ground floor window pattern. No additional windows would be permitted within these recesses and this could be secured by condition should planning permission be forthcoming

Therefore the proposal complies with Policy DMHB 11 of the Hillingdon Local Plan Part 2: Development Management Policies (January 2020).

7.09 Living conditions for future occupiers

The provision of good quality housing is a key aspect of the London Plan and Local Plan housing policies. Policy 3.5 of the London Plan (2016) requires the design of new housing developments to consider elements that enable the home to become a comfortable place of retreat. Policy DMHB 16 of the Local Plan: Part Two (2020) requires all housing development to have adequate provision of internal space in order to provide an appropriate living environment.

Table 3.3 of The London Plan (2016) specifies minimum Gross Internal Areas (GIA) for residential units. Paragraph 3.36 of the London Plan specifies that these are minimum sizes and should be exceeded where possible.

Paragraph 5.40 within the Local Plan: Part Two (2020) states that the Council will expect new development proposals to carefully consider layout and massing in order to ensure development does not result in an increased sense of enclosure and loss of outlook. Single aspect dwellings should be avoided.

Table 3.3 of the London Plan (2016) requires a 4 bedroom, 8 person house across 3 storeys to provide a minimum of 134 sq.m of floorspace. The application provides meets the minimum space standards set out within Table 3.3 of the London Plan. It has been demonstrated through the proposed section plans that the rooms at second floor level would provide sufficient head room.

It is considered that all the proposed habitable rooms, would have an adequate outlook and source of natural light, and therefore comply with Policy 3.5 of the London Plan (2016).

Private Amenity Space

Policy DMHB 18 of the Hillingdon Local Plan Part 2: Development Management Policies (January 2020)

stresses the importance of new buildings and extensions providing adequate amount of external amenity space, that not only protects the amenity of the occupants of the proposed development, but also of those of the surrounding buildings, as well as protecting both parties privacy.

Table 5.3: Private Outdoor Amenity Space Standards states that a dwelling house with 4 + bedrooms should be provided with a minimum of 100 sqm of private external amenity space. Each of the private amenity spaces provided meets or exceeds this. Therefore the proposal complies with Policy DMHB 18 of the Hillingdon Local Plan Part 2: Development Management Policies (January 2020).

7.10 Traffic impact, car/cycle parking, pedestrian safety

Paragraph 108 of the NPPF (2019) notes that in assessing sites that may be allocated for

development in plans, or specific applications for development, it should be ensured that safe and suitable access to the site can be delivered for all users.

Policy 6.10 of the London Plan (2016) requires development proposals to ensure high quality pedestrian environments and emphasise the quality of the pedestrian and street space.

Policy DMT 2 of the Local Plan: Part Two (2020) notes development proposals must ensure that safe and efficient vehicular access to the highways network is provided to the Council's standards.

Policy DMT 6 of the Local Plan: Part Two (2020) sets maximum car parking standards. For a development of this type it is required that the quantum of car parking provided is determined 'on an individual basis using a transport assessment and a travel plan, and in addition provision for taxi and bus/coach access and parking.

The application site has a PTAL rating of 2 which is considered as low given the relative isolation of the site from public transport services which gives rise to a higher dependency on the ownership and use of private motor transport.

It is proposed to provide 4 new residential units consisting of four bedroom units with 2 parking spaces allocated to each. This level of provision satisfies the Council's maximum standard and is therefore welcomed as it assists in reducing potential untoward parking displacement onto the public highway network. The applicant has acknowledged this aspect however the emerging London Plan now demands 1 'active' & 1 'passive' space for each dwelling. This requirement can be secured via planning condition.

The cycle parking provision should be at level of 2 secure and accessible spaces per unit to accord with the Council's minimum cycle parking standard. Again this level of provision has been indicated together with an additional 2 visitor spaces which is therefore considered acceptable.

The proposal would increase traffic generation from the site as compared to the existing single dwelling unit. However peak period traffic movement into and out of the site would not be expected to rise above 1-2 additional vehicle movements during the peak morning and evening hours. As such, this uplift is considered marginal in generation terms and therefore can be absorbed within the local road network without notable detriment to traffic congestion and road safety.

The proposed internal parking and road layout arrangements should conform to the Department for Transport's (DfT) - Manual for Streets (MfS) (circa 2007) best practice for road and parking layouts. An existing relatively narrow vehicular and pedestrian access roadway currently serves the site and is to remain but with enhancement in terms of surfacing and width.

The improvements related to width enhancement would be achieved by removing existing hedging which currently is a limiting factor. Whilst this would have an impact on the streetscene and character of the area, this will allow for adequate passing places for two cars to be provided which is required given the increased demand in activity the proposal would generate. This arrangement is on balance considered acceptable.

A mix of shared surface and footway provisions within the length of roadway would provide

suitable pedestrian provision. A 'gated' arrangement is also proposed set back approximately 15m from Murray Road which is considered on balance, acceptable because it would allow stacking room to be provided for vehicles entering the site thereby avoiding any untoward vehicle over-flow onto Murray Road itself.

The designs for a form of low level lighting will be provided within the said roadway given the anticipated rise in pedestrian activity. The proposal as presented broadly achieve MfS standards and allow vehicles using the site to enter and leave in a forward gear without notable hindrance.

Although passenger and only smaller delivery vehicles will be able to access the site without undue hindrance allowing entry and departure in a forward gear which is the recommended practice on highway safety grounds, a full size refuse vehicle would not be able to do so. To counter this, the applicant has provided a bin storage area located within 12m of Murray Road to facilitate collection from the public highway.

It should be noted that waste collection distances between the proposed bin store and a refuse vehicle should not exceed the recommended distance of 10m in order to conform to the Council's waste collection standard. The proposed positioning, although marginally exceeding the standard, it is on balance considered acceptable. However, the physical carrying distances from the bin store to the dwelling units exceeds the recommended 30m distance parameter equating to approximately 90m from the furthest dwelling (Note: It is possible for 3 of the 4 dwellings to have refuse collection off Lingfield Close, as explained in more detail the sustainable waste management heading of this report). Subject to this being conditioned the proposed refuse collection is on balance considered to be acceptable.

A full and detailed CLP will be a requirement given the significant constraints and sensitivities of the local residential road network in order to avoid/minimise potential detriment to the public realm. It will need to be secured under a suitable planning condition.

The application has been reviewed by the Highway Authority who are satisfied that the proposal would not discernibly exacerbate congestion or parking stress. Despite the restricted access and waste storage arrangements, the proposal would not result in highway safety concerns. The proposal is, on balance, in accordance with Local Plan: Part 2 Development Plan Policies DMT 1, DMT 2 & DMT 6 and Policies 6.3, 6.9, and 6.13 of the London Plan (2016).

7.11 Urban design, access and security

Design matters have been addressed in Paragraph 07.7 of this report.

Security

Policy DMHB 15 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020) states that the Council will require all new development to ensure safe and attractive public and private spaces by referring to the Council's latest guidance on Secured by Design principles. Where relevant, these should be included in the Design and Access Statement. Development will be required to comprise good design and create inclusive environments whilst improving safety and security by incorporating the following specific measures:

- i) providing entrances in visible, safe and accessible locations;
- ii) maximising natural surveillance;
- iii) ensuring adequate defensible space is provided;

- iv) providing clear delineations between public and private spaces; and
- v) providing appropriate lighting and CCTV.

A condition is attached requiring compliance with Secured by Design standards.

7.12 Disabled access

Policy 3.8(c) of the London Plan (March 2016) requires that ninety percent of new housing should meet Building Regulation requirement M4 (2) 'accessible and adaptable dwellings'.

Policy 7.2 of the London Plan (March 2016) states that new development should achieve the highest standards of accessible and inclusive design to ensure that:

- a) development can be used safely, easily and with dignity by all regardless of disability, age, gender, ethnicity or economic circumstances and
- b) development is convenient and welcoming with no disabling barriers, so everyone can use them independently without undue effort, separation or special treatment.

A condition is attached to ensure the details of step free access via the principal private entrance and compliance with Approved Document M to the Building Regulations (2010) 2015. Subject to such conditions, the proposal would accord with Policies 3.8 and 7.2 of the London Plan (March 2016).

7.13 Provision of affordable & special needs housing

Policy H2 of the Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012) states that housing provision is expected to include a range of housing to meet the needs of all types of households and the Council will seek to maximise the delivery of affordable housing from all sites over the period of the Local Plan. For sites with a capacity of 10 or more units the Council will seek to ensure that the affordable housing mix reflects housing needs in the borough, particularly the need for larger family units. This is supported by Policy DMH 7 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020).

The proposal is for less than 10 residential units and does not meet the threshold in order to require affordable housing provision. As such, the proposal is not contrary to Policy H2 of the Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012) and Policy DMH 7 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020).

7.14 Trees, Landscaping and Ecology

Policy DMHB 11 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020) also requires that new development is high quality, sustainable, adaptable, and harmonises with the local context. Landscaping and tree planting should also enhance amenity, biodiversity and green infrastructure.

Policy DMHB 14 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020) states:

- A) All developments will be expected to retain or enhance existing landscaping, trees, biodiversity or other natural features of merit.
- B) Development proposals will be required to provide a landscape scheme that includes hard and soft landscaping appropriate to the character of the area, which supports and enhances biodiversity and amenity particularly in areas deficient in green infrastructure.

The trees and landscaping officer has commented on this application noting the site adjoins land covered by Tree Preservation Order No. 17. The application has been supported by an Arboricultural Planning Statement, by AD Tree Consulting, dated 20 December 2019. The report has identified and assessed the condition and value of 19

individual trees and groups which are on, or close to the site.

A category 'A' lime tree (T14 on the schedule) and one off-site Scots pine (T3) is a category 'B' tree is identified on plan. All other trees are 'C' or 'U' grade trees which due to their condition and value does not automatically constrain development.

The trees and landscaping officer has accepted that due to the siting of the proposal relative to the Category A lime tree and given the siting of the existing building on site, the proposal is unlikely to harm to the Root Protection Area of the lime tree. Notwithstanding this, prior to any work commencing on site, full tree protection details and an arboricultural method statement, including on-site arboricultural supervision is required to ensure that trees T3 and T14 will be safeguarded.

5 lower quality trees will be removed to enable the development and the crown of several trees will be lifted to facilitate safe site access. The proposal is on balance, considered to retain and safeguard the sylvan character and appearance of the area provided that the site is well managed and the arboricultural recommendations are adhered to.

It is noted that the most prominent boundary is situated along Lingfield Close. It is proposed to provide railings with hedging along this boundary, such an arrangement is on balance considered appropriate. A condition is attached removing permitted development rights as alternative boundary arrangements without consent may detract from the character and sylvan setting along Lingfield Close. It is also noted that the applicant proposes to retain or provide hedging along the private access road, details of this would be required by way of a condition. The proposal is on balance considered to comply with the principles of Policies DMHB 11 and DMHB 14 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020).

7.15 Sustainable waste management

A refuse/recycling and bin storage area is to be located within 12m of Murray Road in order to facilitate collection from the public highway.

Due to the depth of the site, the travel distance from houses to the communal store is far beyond the normal 30m. The applicant has stated that due to the location of the collection point at the site entrance, residents will be passing the store daily. This is also similar to the arrangement for the existing single dwelling. Nonetheless such an arrangement is not ideal as it results in longer than normal distances for refuse to be carried, which will be a particular concern for future residents who are elderly or are less mobile.

Officers cannot see any reason why a rear access gate cannot be provided for 3 of the dwellings to enable refuse collection directly off Lingfield Close (the small strip of land between the rear boundary fence and roadway is LBH highway land, it is not land in private ownership) which would therefore give such future occupiers the option of having refuse collection via Lingfield Close (which is an adopted highway). A condition has been added to this effect.

Subject to this condition only 1 dwelling would need refuse collection off Murray road, the same as existing.

7.16 Renewable energy / Sustainability

Not applicable to this development.

7.17 Flooding or Drainage Issues

The site is not located within a flood zone or identified as at risk of surface water flooding. It is considered that a condition can be imposed to ensure suitable sustainable drainage methods and materials are used to help prevent additional surface water run off during high rain fall events.

7.18 Noise or Air Quality Issues

Not applicable to this development.

7.19 Comments on Public Consultations

Comments raised have been addressed within the report.

7.20 Planning Obligations

Due to the scale of development, planning obligations are not required.

COMMUNITY INFRASTRUCTURE LEVY

The Council adopted its own Community Infrastructure Levy (CIL) on August 1st 2014 and the Hillingdon CIL charge for residential developments is £95 per square metre of additional floorspace. This is in addition to the Mayoral CIL charge of £60 per square metre.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

No other issues identified.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

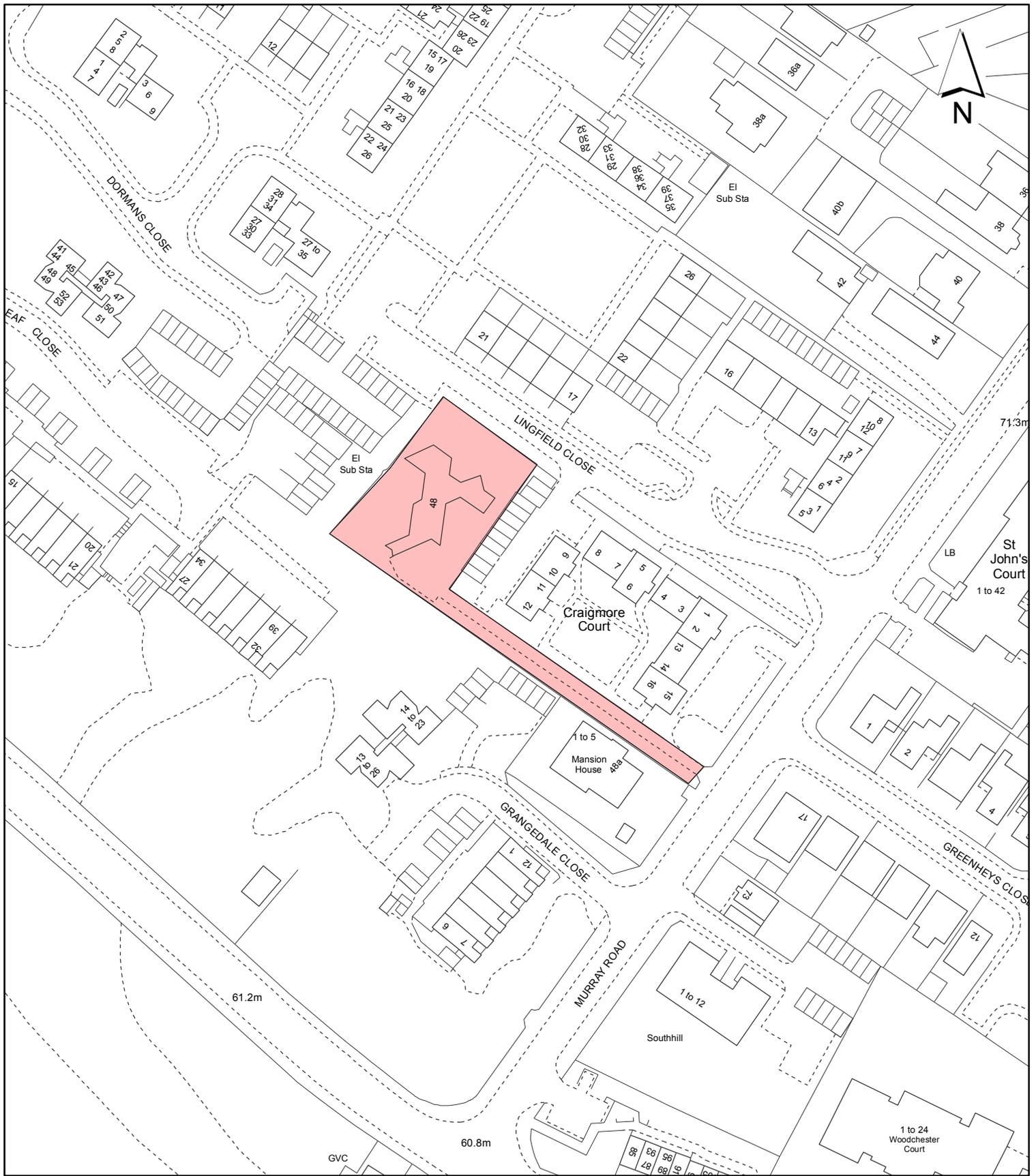
The application seeks full planning permission for the demolition of the existing single storey bungalow and the erection of a terrace of 3 x 4 bed dwellings and 1 x 4 bed detached dwelling with amenity space, car parking, landscaping and associated works. The redevelopment of the site is considered acceptable in principle. The proposed design is considered appropriate within the site's context and the proposal would not have an adverse impact on the amenity of neighbouring properties or the local highways network. Whilst the access is restricted and the design of waste storage not fully policy compliant, for the reasons outlined within this report, the highways officer has raised no objection subject to the inclusion of appropriately worded conditions. On this basis, the proposal is recommended for approval.

11. Reference Documents

Hillingdon Local Plan Part 1 - Strategic Policies (November 2012)
Hillingdon Local Plan Part 2. - Development Management Policies (January 2020)
The London Plan (2016)
Supplementary Planning Document 'Accessible Hillingdon'
National Planning Policy Framework

Contact Officer: Diane Verona

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

**48 Murray Road
 Northwood**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

9357/APP/2019/4133

Scale:

1:1,250

Planning Committee:

North Page 58

Date:

June 2020



HILLINGDON
 LONDON

Report of the Head of Planning, Transportation and Regeneration

Address 17 WOODSIDE ROAD NORTHWOOD

Development: Two storey side extension and first floor rear extension

LBH Ref Nos: 29754/APP/2019/3994

Drawing Nos: 601.102-13 Rev. E
601.102-06 Rev B
601.102-07
601.102-05
601.102-02
601.102-01
601.102-03
601.102-15
Design & access statement
Tree Survey Report
601.102-12A Rev B
601.102-11 Rev B
601.102-14 Rev D

Date Plans Received: 09/12/2019 **Date(s) of Amendment(s):** 28/05/2020
Date Application Valid: 07/01/2020 09/12/2019

1. CONSIDERATIONS

1.1 Site and Locality

The application relates to a two storey, detached dwelling house located to the North West of Woodside Road. The dwelling is a brick and tiled building dwelling comprising generous front and rear gardens.

The application property shares side boundaries with Nos.15 and 19 Woodside Road to the South West and North East respectively.

Woodside Road consists of large detached houses of varying designs. The area is residential in character. The site lies within the Gatehill Estate Area of Special Local Character.

1.2 Proposed Scheme

The application is seeking planning permission for the erection of a two storey side extension and first floor rear extension. The side extension would project to the side by 6.703 metres. It would be set back from the front by 1 metre and would span for a depth of 13.5 metres at ground floor and 10.2 metres at first floor. The extension at first floor would wrap around into a rear extension. The first floor rear extension would span to adjoin the existing rear projecting element. The side extension would be characterised by a double hipped roof with a height of 7.2 metres. The main roof would be extended rearward over the first floor rear extension.

During the determination process, the width of the side extension was reduced in size, the increase in ridge height has been removed, the loft conversion has been removed and the design of the extensions has been altered.

1.3 Relevant Planning History

29754/81/0010 17 Woodside Road Northwood
Erection of a first-floor side extension.

Decision Date: 04-03-1981 Approved **Appeal:**

29754/A/82/0695 17 Woodside Road Northwood
Garage.

Decision Date: 23-06-1982 Withdrawn **Appeal:**

29754/APP/2008/3569 17 Woodside Road Northwood
Erection of a part single, part two storey rear extension, single storey side extension and covered front entrance.

Decision Date: 12-03-2009 Approved **Appeal:**

29754/APP/2019/1235 17 Woodside Road Northwood
Two storey side/rear extension

Decision Date: 31-05-2019 Withdrawn **Appeal:**

29754/D/86/0033 17 Woodside Road Northwood
Householder development - residential extension(P)

Decision Date: 12-02-1986 Approved **Appeal:**

29754/F/87/1845 17 Woodside Road Northwood
2-Storey side & rear extension & minor amendment to approved application ref:29754D/86/33

Decision Date: 08-12-1987 Approved **Appeal:**

Comment on Planning History

A previous application to extend the property was withdrawn on 31/05/2019 (Reference: 29754/APP/2019/1235). It is not considered relevant to consideration of this application as no decision was made.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

Ten neighbouring properties and the Residents Associations were notified about the proposal on 08/01/2020. A site notice was also displayed which expired on 19/02/2020.

Two neighbour responses were received which are summarised as follows:

- Many windows of No.19 face No.17 and the raising of roof and addition of large dormer

will have an adverse impact on No.19 by way of appearing overbearing, visually intrusive, overshadowing and loss of outlook;

- Will negatively impact the charm of the local area;
- Trees, shrubs and vegetation will be impacted negatively;
- Would result in over looking to the rear.

Officer Comments:

The impact of the proposal on the residential amenity of neighbouring properties and the impact on the street scene will be discussed in the report below.

Both the Northwood Residents Association and the Gatehill Residents Association submitted objections:

- Proposed extension is not subordinate or in keeping with the original property;
- The height of the roof would significantly exceed the existing main ridge and would create a visually dominating structure;
- Scale, mass and bulk is out of keeping visually;
- Would detract from the character of the original house, its setting and the street as a whole;
- The proposal fails to complement the character of the area or the original layout of the property;
- Concerned the removal of shrubs and trees from this boundary is contrary to policy
- Inconsistency on the plans in regards to windows on the wall adjacent to 19 Woodside Road;
- House has extended twice and incorporated the original detached garage to increase the floorspace by 76 square metres and a separate garage was built;
- The proposal would increase the ground floor living space by 117 square metres which equates to an increase of 227% contrary to policy;
- The original house was just over 10 metres in width and the first extension to the right hand side is 3 metres. The proposed extension at 7 metres would equate to 100% increase in width to the original property contrary to policy;
- Previous extensions to the rear and side have been approved and built in 1987 and 2008. The current proposal is to extend on the other side of the house to a depth of over 13 metres which would be 6 metres beyond the original house contrary to policy;
- The ridge would be raised by almost a metre and so it is not subordinate to the original;
- Roof extensions creates an increase in the bulk of the roof;
- The effect on some neighbouring properties has not been considered;
- Disappointing that established characteristics are to be removed;
- Two storey porches or glass fronted porches are not a character of the original house, street or area,
- New bay window features are not characteristic or the other proposed on the street;
- The rear dormer looks out of proportion with the rest of the building;
- In response to the four properties that the applicant has highlighted within the Design and Access Statement:
 - 1. 15 Woodside Road was granted permission in 2002 under different planning policies, but is also smaller in width, did not raise the roof height, and not introduced new features;
 - 2. 13 Woodside Road the ridge height has not been raised and no loft conversion has taken place contrary to the D&A Statement;
 - 3. 10 Woodside Road was approved over 10 years ago and the extensions have lower ridge heights and was relatively small;
 - 4. 8A Woodside Road is much further down the road and does not have side dormers contrary to the Design and Access Statement. The works were approved 19 years previously and subject to different policies;
- Setting the front wall of the extension by 1 metre is not sufficient to create a subordinate

extension;

- Information with the Design and Access Statement such as the width is not accurate;
- Property is located near the top of Woodside Road at a bend in the road and so the extensions would have a significant impact on the street scene;
- Would have a detrimental impact on No.19 Woodside Road.

A rebuttal of the Gatehill Residents Associations comments was submitted by the applicants agent. This states that:

- It has been stated that the 13m side extension is out of sync with other houses on the road. In fact, the original house (before any extension) was built to the same depth, so the proposal only comes upto the original building line.
- There are a couple of references to the proposed extension being more than 227% greater than before. This is not correct: the ground floor of the existing house has a GIA of 147.43 sq.m (not including the open porch which is being demolished). With the extension, the proposed dwelling would be 241. 43 sq.m which is a 63% increase.
- This is a suggestion that because details of the next door neighbour at No. 15 have not been included, this is a short coming. The applicant has been in touch with the neighbours who have not raised objections to the application. The nearest part of heir house to the side boundary with the subject property is single storey. I has a completely blank facade where it faces No. 17. In addition, the orientation of the house is not north-south, rather the windows on the nearest section face south-easterly and this is away from No. 17.
- Reference is made to the width of the existing house when in fact Policy A1.12 refers to the existing property width. In this case, the attached garage was an original feature and this has not been taken into account. In any event, the revised scheme now creates an extension width no more than half of the original width.

Officer Comments:

It is noted that the size and design of the proposal has been amended since the receipt of these comments. The impact of the proposal on the street scene, Gatehill Estate and character of the existing house will be considered within the main body of the report.

A petition against the proposal was also submitted with 37 valid signatories on behalf of the Gatehill Residents Association. As such, the proposal is to be decided at Planning Committee.

Trees/Landscaping Officer:

The site lies within the area covered by TPO 164 with several protected trees present - G4, G5, T15, T16, T18 and T19. A tree survey has been submitted. The report has identified and assessed the condition and value of 31 individual trees and groups. Nine are 'B' Grade trees: T1, T4, T6, T18, T21, T25, T29, T30 and T31. All other trees are to be category 'C'. The report confirms which trees are protected by the TPO; T3 and T4 (in the survey) are in group G4, T17 and T18 are in group G5, T22 is T20 and T21 is T21, according to the TPO. The survey provides a Tree Constraints Plan in appendix 4 which indicates the sensitive root protection area (RPA) of the trees and should be used to inform any future layout proposals. This is only the second stage of a five part process designed to protect trees on the development site. According to the proposed block plan there should be no direct impact on the existing trees, however, tree protection will be required to prevent indirect damage association with the works. Outstanding information includes an Arboricultural Impact Assessment, an Arboricultural Method Statement and Tree Protection Measures which should include supervision on site by a tree consultant. The impact assessment should take into account any indirect influences including access arrangements and the

need for working space to construct the new house. No objection subject to pre-commencement conditions RES8 and RES10.

Conservation Officer:

The existing property on the site is characterised by its red brick external appearance. It is set on a generous sized plot with a substantial gap to the west of the dwelling. The original dwelling dates from the 1930s and is one of the original buildings built when the estate was established. The property is uniquely orientated with the front entrance located along the west elevation.

The Gatehill Farm Estate was an area of former farmland (associated to the Grade II Listed Gatehill Farmhouse) which would originally developed in the 1930s as a garden suburb. The plan arrangement of the estate was designed by Soutar (known for work in Hampstead Garden Suburb) with covenants established to control issues such as density of sites, fencing and maintenance of the roads. Unfortunately overtime the area has suffered from modern alterations which have not respected the principles in which the estate had been originally developed. This has to some degree degraded its character and appearance.

The area is characterised by large detached properties set within generous plots with ample gaps between allowing for a low density streetscape. Hedges, mature planting and grass verges define the streetscene contributing to a verdant garden suburb appearance to the area. Predominantly developed in the 1930s, development was then staggered over the decades from the 1950s. This has contributed to the varied character and style of buildings however materials have remained muted and traditional in appearance.

Following amendments which occurred after discussions between the Conservation Officer and Agent, the Conservation Officer has confirmed that the amended proposal would address concerns previously stated and would be considered an improvement from the original proposal. In this instance it is something we could support subject to conditions requesting details of materials, rainwater goods and fenestration prior to the commencement of the development.

4. Local Plan Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.HE1 (2012) Heritage

Part 2 Policies:

DMHD 1 Alterations and Extensions to Residential Dwellings

DMHB 5 Areas of Special Local Character

DMHB 11 Design of New Development

DMHB 12 Streets and Public Realm

DMHB 14 Trees and Landscaping

DMEI 10 Water Management, Efficiency and Quality

DMEI 9 Management of Flood Risk
LPP 3.5 (2016) Quality and design of housing developments

5. MAIN PLANNING ISSUES

The main issues for consideration in determining this application relates to the effect of the proposal on the character and appearance of the original dwelling, the impact on the visual amenities of the surrounding area, the impact on the residential amenity of the neighbouring dwellings and the provision of acceptable residential amenity for the application property.

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) requires all new development to improve and maintain the quality of the built environment in order to create successful and sustainable neighbourhoods.

Policy DMHB 5 states that within Areas of Special Local Character new development should reflect the character of the area and its original layout. Extensions should be subservient to and respect the style of the original buildings.

Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) advises that all development will be required to be designed to the highest standards and incorporate principles of good design.

Policy DMHD 1 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) provides design guidance for householder extensions. It states that rear extensions to detached houses should not exceed 4 metres in depth. Pitched roofs on extensions should be of a similar pitch to that of the original roof. Large crown roofs will not be supported. Two storey side extensions should not exceed more than half the width of the original property and should be set in by at least 1.5 metres if the property is located within the Gatehill Estate. Two storey side extensions should be set back a minimum of one metre from the front elevation.

The rear extension would not project rearwards of the existing building rearmost building line on either floor. The rear elements would not be visible from the street scene. The extension to the existing first floor rear projecting element would include the raising of the roof but this would not exceed the height of the original roof ridge. As it would not span the full width of the original property it is considered it would still appear subordinate. The Gatehill Farm Estate is characterised by large houses, many of which benefit from large extensions and so the rear extension is not considered to appear out of keeping with the wider area. The application property benefits from a very spacious plot and so it is considered it would not appear as over development.

The side extension would have a width of 6.703 metres which equates to half of the original footprint as the Applicant has confirmed that the single storey garage was an original element. Although it is noted that the first floor side extension would exceed 50% of the width of the original first floor element, it is considered that due to the 1 metre set back from the front and 1.3 metre set down from the existing ridge height it would appear subordinate to the main property. The property is sited on a very wide plot and the extension would be over 4.5 metres from the side boundary line. As such, it is considered that a significant visually open gap would be retained.

The design of the extensions is considered to be in keeping with the character of the

original property ensuring that the distinguishing bay window is unaltered and it remains the focal point of the front elevation. Whilst the new entrance way adds a glazing element from the ground to the eaves, some properties in the wider estate have incorporated modern elements without detracting from the traditional form. In addition, the Council's Conservation Officer has confirmed they support the amended proposal.

The extension would be located a minimum of 4.8 metres from the shared boundary with No.15 Woodside Road. No.15 is set further rearwards than the No.17 and so the extensions would not project rearwards of this property. The side extension would project forwards of this property by 5 metres, however, due to the separation distance it would not intersect the 45 degree horizontal line.

The extensions would be located on the opposite side of the dwelling house to No.19 Woodside Road, however, the roof of the rear projection would be raised which would be visible from this neighbour. No.19 is orientated differently to the application property and the principle elevation faces No.17. The roof enlargement would be located a minimum of 3.2 metres from the closest part of No.17, however this element has no windows facing the property. The enlarged part of the roof would be 9.9 metres from the closest windows facing the property at ground floor when measured from the eaves and the new ridge would be 14 metres away. No.19 is on higher land than the application property and when taking the difference in land level into consideration the new roof would not intersect the 25 degree vertical line from this windows. The eaves height and the roof pitch would not be altered and the roof would not be brought closer to this neighbour. Subsequently, it is considered that it would not have a detrimental impact on this property in terms of loss of light, loss of outlook or sense of dominance.

One additional first floor side window would be installed facing No.19 Woodside Road, however, this would serve a dressing room and so following approval a condition can be added to ensure that this would be obscurely glazed and non-opening. As such, it is considered it would not result in the loss of privacy.

Therefore, it is considered that the proposal would have an acceptable level of impact on the residential amenity of the neighbouring properties in terms of loss of light, loss of outlook, sense of dominance or loss of privacy.

The site is covered by a Tree Preservation Order and a tree survey has been submitted. Whilst there would be no direct impact on the existing trees, protection will be required to prevent indirect damage. The tree officer has requested further information but this can be dealt by way of a condition.

Subsequently, it is considered that the proposal would remain in keeping with the character of the existing house and would appear subordinate, it would not have a detrimental impact on the street scene and would not be detrimental to the character of the wider Gatehill Farm Estate Area of Special Local Character. It would have an acceptable impact on the residential amenity of the neighbouring properties. As such, it would comply with Policies DMHB 5, DMHB 11 and DMHD 1 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

The application is recommended for approval.

6. RECOMMENDATION

APPROVAL subject to the following:

1 HO1 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 HO2 Accordance with approved

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 601.102-06 Rev B, 601.102-07, 601.102-11 Rev B, 601.102-12A Rev B, 601.102-13 Rev E and 601.102-14 Rev D

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020), and the London Plan (2016).

3 RES7 Materials (Submission)

Prior to above ground works, details of all materials and external surfaces, including details of balconies shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

REASON

To safeguard the character and appearance of the Area of Special Local Character in accordance to policies HE1 of the Hillingdon Local Plan: Part 1 (2012) and DMHB 1, DMHB 5, DMHB 6 and DMHB 11 of the Hillingdon Local Plan: Part Two (2020)

4 NONSC Non Standard Condition

Prior to above ground works, details of all rainwater goods shall be submitted to and approved in writing by the Local Planning Authority. Details shall include manufacturer information, product type/ code and colour. Works shall commence in accordance to approved details.

REASON

To safeguard the character and appearance of the Area of Special Local Character in accordance to policies HE1 of the Hillingdon Local Plan: Part 1 (2012) and DMHB 1, DMHB 5 and DMHB 6 of the Hillingdon Local Plan: Part Two (2020)

5 NONSC Non Standard Condition

Prior to above ground works, details of all windows and doors shall be submitted to and approved in writing by the Local Planning Authority. Details shall include manufacturer information, material, product type/ code and colour. Works shall commence in accordance to approved details.

REASON

To safeguard the character and appearance of the Area of Special Local Character in accordance to policies HE1 of the Hillingdon Local Plan: Part 1 (2012) and DMHB 1, DMHB 5 and DMHB 6 of the Hillingdon Local Plan: Part Two (2020)

6 HO6 Obscure Glazing

The window facing 19 Woodside Road shall be glazed with permanently obscured glass to at least scale 4 on the Pilkington scale and be non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

REASON

To prevent overlooking to adjoining properties in accordance with policy DMHB 11 of the Hillingdon Local Plan Part 2 (2020).

7 HO5 No additional windows or doors

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (as amended) (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls of the development hereby approved.

REASON

To prevent overlooking to adjoining properties in accordance with policy DMHB 11 of the Hillingdon Local Plan Part 2 (2020).

8 HO7 No roof gardens

Access to the flat roof over the extension hereby approved shall be for maintenance or emergency purposes only and the flat roof shall not be used as a roof garden, terrace, balcony, patio or similar amenity area.

REASON

To prevent overlooking to adjoining properties in accordance with policy policy DMHB 11 of the Hillingdon Local Plan Part 2 (2020).

9 RES10 Tree to be retained

Trees, hedges and shrubs shown to be retained on the approved plan(s) shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority. If any retained tree, hedge or shrub is removed or severely damaged during (or after) construction, or is found to be seriously diseased or dying, another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'

Remedial work should be carried out to BS BS 3998:2010 'Tree work - Recommendations' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy DMHB 14 of the Hillingdon Local Plan Part 2 (2020) and to comply with Section 197 of the Town and Country Planning Act 1990.

10 RES8 Tree Protection

No site clearance or construction work shall take place until the details have been submitted to, and approved in writing by, the Local Planning Authority with respect to:

1. A method statement outlining the sequence of development on the site including demolition, building works and tree protection measures.

2. Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority. Such fencing should be a minimum height of 1.5 metres.

Thereafter, the development shall be implemented in accordance with the approved details.

The fencing shall be retained in position until development is completed.

The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

2.a There shall be no changes in ground levels;

2.b No materials or plant shall be stored;

2.c No buildings or temporary buildings shall be erected or stationed.

2.d No materials or waste shall be burnt; and.

2.e No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

3. Where the arboricultural method statement recommends that the tree protection measures for a site will be monitored and supervised by an arboricultural consultant at key stages of the development, records of the site inspections / meetings shall be submitted to the Local Planning Authority.

REASON

To ensure that trees and other vegetation can and will be retained on site and not damaged during construction work and to ensure that the development conforms with policy DMHB 14 of the Hillingdon Local Plan Part 2 (2020)

INFORMATIVES

- 1 The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

For Private Roads: Care should be taken during the building works hereby approved to ensure no damage occurs to the verge of footpaths on private roads during construction. Vehicles delivering materials to this development shall not override or cause damage to a private road and where possible alternative routes should be taken to avoid private roads. The applicant may be required to make good any damage caused.

- 2 On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8 November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.
- 3 In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from Local Plan Part 1, Local Plan Part 2, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service, in order to ensure that the applicant has been given every opportunity to submit an application which is likely to be considered favourably.
- 4 The site lies in a Critical Drainage Area (CDA) as identified in the Surface Water Management Plan (SWMP) for Hillingdon. A CDA is the catchment area from which surface water drains and contributes to drainage problems. All developments in this area must contribute to managing the risk of flooding from surface water by reducing surface water runoff from the site. Therefore the applicant should minimise the water from your site entering the sewers. No drainage to support the extension should be connected to any existing surface water sewer, other than as an overflow. Water run off from any roof or hard paving associated with the development should be directed to a soakaway, or tank or made permeable. This includes any work to front gardens not part of the planning application, which must be permeable or be collected and directed to a permeable area, otherwise it would need an additional permission. A water butt should be incorporated.

Standard Informatives

- 1 The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

- 2 The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

Part 1 Policies:

PT1.BE1	(2012) Built Environment
PT1.HE1	(2012) Heritage

Part 2 Policies:

DMHD 1	Alterations and Extensions to Residential Dwellings
DMHB 5	Areas of Special Local Character
DMHB 11	Design of New Development
DMHB 12	Streets and Public Realm
DMHB 14	Trees and Landscaping
DMEI 10	Water Management, Efficiency and Quality
DMEI 9	Management of Flood Risk
LPP 3.5	(2016) Quality and design of housing developments

- 3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.
- 4 You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.
- 5 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning, Environment and Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).
- 6 You have been granted planning permission to build a residential extension. When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all

vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).

- 7 The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:
- carry out work to an existing party wall;
 - build on the boundary with a neighbouring property;
 - in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning, Environment and Community Services Reception, Civic Centre, Uxbridge, UB8 1UW.

- 8 Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

- 9 Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

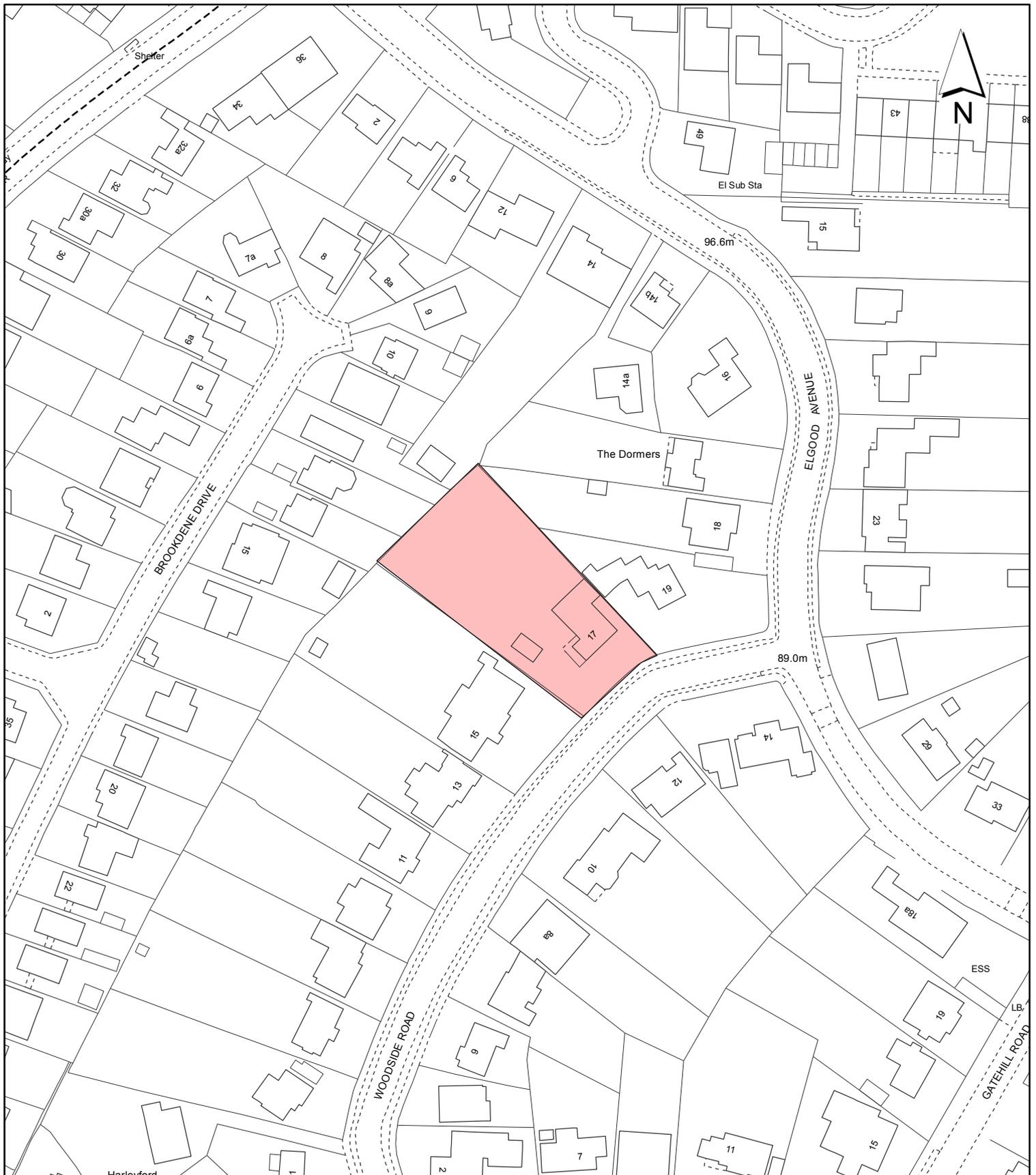
You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working

hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

- 10 You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act.
- 11 To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO2) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.
- 12 You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

Contact Officer: Charlotte Spencer

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

**17 Woodside Road
 Northwood**

Planning Application Ref:

29754/APP/2019/3994

Scale:

1:1,250

Planning Committee:

North Page 73

Date:

June 2020

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111



HILLINGDON
 LONDON

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Report of the Head of Planning, Transportation and Regeneration

Address LAND AT GARAGE BLOCK SOUTHBOURNE GARDENS RUISLIP

Development: Four storey building comprising 8 x 2 Bedroom flats with associated car and cycle parking and amenity space involving demolition of existing garages.

LBH Ref Nos: 72211/APP/2020/480

Drawing Nos: 1547.A1.PL01
Drainage Strategy Report dated 24.03.2020
1547.A1.PL02
1547.A2.PL05
1547.A2.PL06
Location Plan

Date Plans Received: 12/02/2020 **Date(s) of Amendment(s):**

Date Application Valid: 18/03/2020

1. SUMMARY

This application proposes to demolish two garage blocks comprising 18 garages and erect a four storey building providing 8 x 2 bedroom flats with associated landscaping and parking. There is no objection in principle to the redevelopment of the site, and a scheme for 6 flats has already been allowed on the site. However, the proposed layout, scale and design would result in an uncharacteristic form of development within the site's context. In particular the 4 storey height would be completely out of keeping with the surrounding mixture of 2 and 3 storey buildings. This additional storey results in a building that is too bulky and would appear visually intrusive. The application fails to provide an appropriate mix of units and it fails to provide a policy compliant amount of amenity space. For the reasons outlined in the report, this application is recommended for refusal.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 Reason for refusal: Design

The proposed development, by reason of its scale (in particular the height of the building) and poor quality design would result in an uncharacteristic form of development that would fail to harmonise with the local character of the surrounding area. The proposed development would have a detrimental impact on the character, appearance and visual amenities of the area contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies (November 2012), Policies DMHB 11 and DMHB 12 of the adopted Hillingdon Local Plan: Part Two - Development Management Policies (2020), Policies 3.5 and 7.4 of the London Plan and the NPPF.

2 NON2 Reason for refusal: Amenity Space

The proposed development, due to its layout, fails to provide onsite private or communal amenity of a quantity and quality commensurate to the size of the proposals. Cumulatively, the shortfalls identified result in a poor quality of accommodation and residential amenity for the future occupiers contrary to Policies BE1 and EM4 of the Local Plan: Part One (2012), Policies DMHB 11, DMHB 16, DMHB 18, DMHB 19 of the Local Plan Part Two - Development Management Policies (2020), Policies 3.5, 7.1 of the

London Plan (2016), Policies G1 and D6 of the London Plan Intend to Publish version (2019) and Para 127 of the NPPF (2019).

3 NON2 Reason for refusal: Unit Mix

The proposed development by reason of the unit mix fails to provide sufficient family sized units required by the latest information on housing need. The proposed development fails to contribute towards mixed and balanced communities and a range of housing types required within the Borough contrary to Policy 3.8 of the London Plan (2016), Policy H10 of the draft London Plan (Intend to Publish version 2019) and Policy DMH 2 of the Local Plan: Part Two (2020) and the NPPF (2019).

INFORMATIVES

1 I59 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8 November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.

2 I71 LBH worked applicant in a positive & proactive (Refusing)

In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from the Local Plan Part 1, Local Plan Part 2, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service.

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises an area of approximately 870 square metres that is currently occupied by 18 garages set in two blocks running along the western and eastern boundaries of the site. The surrounding area is residential in character. To the north of the site is Ottawa House a three storey flatted development and 35-37 Dollis Crescent a two storey block of 2 flats recently constructed on land formerly garages. To the west are the ends of the gardens of nos. 2-8 Dollis Crescent and to the east, nos. 1-6 Green Lawns and to the south nos. 54-60 Southbourne Gardens. Access is provided via a narrow driveway off Southbourne Gardens, located between nos. 58 & 60 and no.62. The application site lies within a critical drainage area and has a Public Transport Accessibility Level (PTAL) of 2.

3.2 Proposed Scheme

The application seeks planning consent for the demolition the garages and the erection of a four storey building to provide 8 x 2-bed self-contained flats with associated parking and amenity space.

3.3 Relevant Planning History

72211/APP/2017/3911 Land At Garage Block Southbourne Gardens Ruislip

Three storey building comprising of 6 x 2-bed flats, parking and extension to access, involving demolition of existing garages.

Decision: 25-09-2018 Withdrawn

72211/APP/2018/4029 Land At Garage Block Southbourne Gardens Ruislip

Three storey building comprising of 4 x 2-bed and 2 x 1-bed self-contained flats with parking and extension to access, involving demolition of existing garages.

Decision: 15-01-2019 Refused

72211/APP/2019/664 Land At Garage Block Southbourne Gardens Ruislip

Three storey building comprising of 6 x 2-bed flats with associated parking and amenity space involving demolition of existing garages.

Decision: 27-09-2019 Approved

Comment on Relevant Planning History

There have been three previous applications for the development of the site creating a three storey building comprising 6 self contained units, The first was withdrawn and the second submission was refused on the basis of the impact on the privacy of the neighbouring properties, insufficient parking and failure to provide a step free approach to the principle entrance. The subsequent application addressed these concerns and was approved under ref: 72211/APP/2019/664 (08-01-20).

4. Planning Policies and Standards

Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

The Development Plan for the London Borough of Hillingdon currently consists of the following documents:

The Local Plan: Part 1 - Strategic Policies (2012)
The Local Plan: Part 2 - Development Management Policies (2020)
The Local Plan: Part 2 - Site Allocations and Designations (2020)
West London Waste Plan (2015)
The London Plan - Consolidated With Alterations (2016)

The National Planning Policy Framework (NPPF) (2019) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.

Emerging Planning Policies

Paragraph 48 of the National Planning Policy Framework (NPPF) 2019 states that 'Local Planning Authorities may give weight to relevant policies in emerging plans according to:
(a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);
(b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
(c) the degree of consistency of the relevant policies in the emerging plan to this

Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

Draft London Plan (Intend to Publish Version, December 2019)

The GLA consulted upon a draft new London Plan between December 2017 and March 2018 with the intention of replacing the previous versions of the existing London Plan. The Plan was subject to examination hearings from February to May 2019, and a Consolidated Draft Plan with amendments was published in July 2019. The Panel of Inspectors appointed by the Secretary of State issued their report and recommendations to the Mayor on 8th October.

The Mayor has considered the Inspectors' recommendations and, on the 19th December 2019, issued to the Secretary of State his intention to publish the London Plan along with a statement of reasons for any of the Inspectors' recommendations that the Mayor does not wish to accept.

Limited weight should be attached to draft London Plan policies that have not been accepted by the Mayor or that have only been accepted in part/with significant amendments. Greater weight may be attached to policies that were subject to the Inspector's recommendations and have since been accepted by the Mayor through the 'Intend to Publish' version of the Plan. The weight will then increase as unresolved issues are overcome through the completion of the outstanding statutory process. Greater weight may also be attached to policies, which have been found acceptable by the Panel (either expressly or by no comment being made).

UDP / LDF Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMH 2 Housing Mix
DMHB 11 Design of New Development
DMHB 12 Streets and Public Realm
DMHB 14 Trees and Landscaping
DMHB 16 Housing Standards
DMHB 17 Residential Density
DMHB 18 Private Outdoor Amenity Space
DMT 1 Managing Transport Impacts
DMT 2 Highways Impacts
DMT 6 Vehicle Parking
DMEI 10 Water Management, Efficiency and Quality
DMEI 9 Management of Flood Risk
LPP 3.3 (2016) Increasing housing supply
LPP 3.4 (2015) Optimising housing potential

LPP 3.5	(2016) Quality and design of housing developments
LPP 3.8	(2016) Housing Choice
LPP 5.13	(2016) Sustainable drainage
LPP 6.13	(2016) Parking
LPP 7.4	(2016) Local character
NPPF- 11	NPPF-11 2018 - Making effective use of land
NPPF- 12	NPPF-12 2018 - Achieving well-designed places

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

139 neighbours were consulted for a period of 21 days expiring on the 7 May 2019. 38 responses were received raising the following issues:

- Lack of parking
- Loss of privacy
- Loss of security
- Loss of light
- Loss of sunlight
- Overdevelopment
- Out of keeping with the rest of the street
- Overshadowing
- Disruption to neighbours
- Impact on road safety due to increased vehicle movements
- Overcrowding resulting in increase in anti social behaviour
- Loss of value to neighbouring properties
- Would wish to be consulted on the height and look of the replacement wall backing onto 1-4 Green Lawns
- Loss of view
- Area would be better used as a community use, open space or local youth group
- Access too narrow to allow emergency vehicles access to the site
- Overbearing impact
- On refuse collection day the residents will leave their bins on the pavement making it unsightly and hardly any space to walk
- The loss of the garages is not desirable
- Issues relating to the land and garage clearance, with no regard to asbestos
- Too high a density for the site
- Increased pressure on existing infrastructure
- Duplicity of the developer
- Southbourne Gardens already suffers from parking stress and is not capable of absorbing more on street parking
- In the current crisis creating economic uncertainty, it is not the time to consider such a project. If finances run out it would end up an eye sore

A petition against the proposal was also submitted.

Eastcote Residents Association - Under application ending 2019/664 a three-storey building comprising of 6 x 2-bed flats with associated parking and amenity space, involving demolition of existing garages, has already been approved, albeit with a number of conditions.

The addition of a further 4th storey to add two further two-bedroom flats should be refused:-

This additional storey renders the building too bulky and over-dominant. Effectively, the greater height is a 'bridge too far'.

It results in the site being over-developed in relation to the space available for a building, adequate amenity space, car/cycle parking, bin stores, and the now well-known long, narrow entrance drive, leaving only restricted space for vehicular movement within the confines of this oddly shaped site.

Despite the two additional flats, creating the possibility of at least 6 more occupants, the car parking spaces remain the 6 shown in the last application and, as before on the drawings, no details of disabled or visitors parking are provided. No further amenity space has been added.

It is noted that the site has now been cleared. Obviously, this is allowable under the planning approval that is already in place for the 6-flat scheme, but, if it were possible in the current isolation/lockdown, it should be checked, as a cursory drive past gives the impression that trees have been removed. It is also noted that there is a still to be determined application to discharge conditions 4, 5, 6, 7 & 10 in this regard. Furthermore, the amended location drawing uses the current application's slightly altered layout for the building - there is a flat roofed, entrance to the building rather than the recessed entrance that was in the approved 664 application.

The current submission has been made as a new full plans application and, as such, is very light on the required detail - it has no D&A statement, Daylight & Sunlight Assessment, Arboricultural Report or Transport Assessment and nor does it refer back to any relevant previous application's documentation.

As stated, this 4th storey application should be refused. However, should LBH be minded to approve it, it is hoped that, as well as vetting all necessary, missing documentation, all the conditions applied to the previously approved application will be part of the decision notice for this one.

Internal Consultees

Access Officer

Any grant of planning permission must include conditions for the provision of a step free access and compliance with building regulations.

Highways Officer

The application has been reviewed by the Highway Authority who are satisfied that the proposal would not discernibly exacerbate congestion or parking stress, and would not raise any highway safety concerns, in accordance with Local Plan Part 2 Development Plan Policies DMT 1, DMT 2 & DMT 6 and Policies 6.3, 6.9, and 6.13 of the London Plan (2016).

Trees/Landscaping Officer

This site has been the subject of several previous submissions including applications, most recently 2020/387. Previous applications have submitted a tree report; however, none has been submitted with this application. According to the proposed layout, no trees will be directly affected by the siting of the building, however, construction-related activities and associated work on site may have a

detrimental effect on certain trees and other established vegetation. This impact needs to be assessed and agreement reached about the tree removal / retention strategy. - Full tree protection details and an arboricultural method statement will be required. No detailed information has been submitted regarding the proposed landscape details, although some residual spaces (left over after development) will be available as amenity spaces, the quality of which will be assessed against policies DMHB 11, DMHB 14, DMHB 18 and DMEI 1. If you are minded to approve this application, landscape conditions should be imposed.

Flood Water Management Officer

The site lies in a Critical Drainage Area and the access road is shown to be at risk from Surface water Flooding. The site lies in a Critical Drainage Area (CDA) as identified in the Surface Water Management Plan (SWMP) for Hillingdon. A CDA is the catchment area from which surface water drains and contributes to drainage problems. AND/OR The site is identified at risk of surface water flooding on the Environment Agency Flood Maps.

All developments in this area must contribute to managing the risk of flooding from surface water by reducing surface water runoff from their site. The following condition is therefore requested:

Prior to commencement, (excluding demolition and site clearance) a plan for the provision of sustainable water management shall be submitted to, and approved in writing by the Local Planning Authority. As a minimum, the plan shall show the following details:

- i. Identify proposed areas of hardstanding as part of the development, state the material to be used for each area and show the proposed direction of slope. All hardstanding areas shall be formed of permeable surfaces, or slope to a permeable area or soakaway. Any work to front gardens not part of the planning application must be permeable or be collected and directed to a permeable area or soakaway, otherwise it would need an additional permission in line with the restrictions set out in the Town and Country Planning (General Permitted Development) (Amendment) (No. 2) (England) Order 2008.
- ii. Identify proposed downpipes from the development and show where these will discharge to. Collected surface water from roof areas will be directed away from the public sewer network as a preference by using SuDS such as rain gardens, soakaways or other infiltration techniques in line with Building Regulations Approved Document H (2015).
- iii. List the proposed activities that will be undertaken to maintain the surface water drainage network. The drainage system should be maintained (such as gutter clearance, permeable paving jet washing and debris clearance from linear drainage channels) to ensure that it will continue to function over the lifetime of the development and will not increase the risk of surface water flooding.
- iv. Identify the water reuse methods to be implemented (i.e. water butts) The development should also use methods to minimise the use of potable water through the use of rainwater harvesting measures (such as water butts) to capture excess rainwater.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Paragraph 118 of the NPPF expects planning decisions to give substantial weight to the value of using suitable brownfield land within settlements for homes and other identified needs. It promotes and supports the development of under- utilised land and buildings, especially if this would help to meet identified need.

Policy 3.3 of the London Plan (2016) expects Hillingdon to deliver a minimum of 559 new homes each year until 2025.

Policy H1 of the Local Plan: Part One (November 2012) gives general support to housing provision to meet and exceed the Council's minimum strategic dwelling requirement, where this can be achieved, in accordance with other Local Plan policies. The proposal would result in the net gain of 8 residential units which is a material consideration in support of this development. Whilst planning policy generally supports the increase in the supply of new homes across the Borough, the Council can demonstrate a healthy supply of new homes being delivered. There is no reason why the redevelopment of the site for residential units would be given priority over the impact of the proposal on neighbouring amenity of inappropriate design, scale and layout.

UNIT MIX

Policy DMH 2 of the Local Plan: Part Two (2020) requires the provision of a mix of housing units of different sizes in schemes of residential development to reflect the Council's latest information on housing need.

The Council's current information on housing need indicates a substantial borough-wide requirement for larger affordable and private market units, particularly 3 bedroom properties. This application provides 8 x 2 bedroom units and therefore fails to provide a mix of units on site contrary to Policy DMH 2 of the Local Plan: Part Two (2020).

7.02 Density of the proposed development

Policy 3.4 of the London Plan (2016) seeks to ensure that the new development takes into account local context and character, the design principles in Chapter 7 and public transport capacity development should optimise housing output for different types of location within the relative density range shown in Table 3.2. Development proposals which compromise this policy should be resisted.

According to the London Plan density matrix, the application proposal should provide 35-65 units p/h or 150-250 habitable rooms per hectare. The application proposed to provide 94 residential units per hectare or 282 habitable rooms per hectare indicating the proposal is an over-development of the site.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The application site does not lie within a conservation area nor is it located within a setting of a listed building. As such, heritage matters are not applicable to this application.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) states that all new developments should achieve a high quality of design in all new buildings and the public realm contributes to community cohesion and a sense of place.

Policy DMHB 11 of the Local Plan: Part Two - Development Management Policies (2020) advises that all development will be required to be designed to the highest standards and incorporate principles of good design. It should take into account aspects including the scale of the development considering the height, mass and bulk of adjacent structures; building plot sizes and established street patterns; building lines and streetscape rhythm and landscaping.

Policy DMHB 12 advises that development should be well integrated with the surrounding area. It should ensure public realm design takes account of the established townscape character and quality of the surrounding area.

The proposed building measures a maximum of 14.8m in width, 10.5m in depth and 12.7m in height. The building is designed with a slightly staggered front and rear elevation and two storey front projections on either side of the front elevation. The highest point is the ridge line above the side projections which is linked by a central crown at right angles of 12.25m. The proposal maintains the footprint of the previously approved building and reflects the details of the building but with an increase in height of 2.65m.

The properties to the front and side of the site are characteristically 2 storey brick built properties with deeper pitched roof details measuring approximately 9m in height. Under application ref: 72211/APP/2019/664 (08-01-20) planning permission was granted for a 3-storey building with the third floor set within a deeper pitched roof. Although the consented building was slightly higher than the neighbouring dwellings, the previously consented scheme was considered broadly in keeping with the architectural character of the surrounding area.

Under this application, the proposed building would be at least 3.7m higher than the neighbouring properties resulting in a visually intrusive form of development. Whilst noting the proposal may be of a similar height to Ottawa House, Officers note that Ottawa House is set within a different context, situated off Field End Road, amongst other 3 storey premises.

This proposal is a backland site which is accessed from between properties fronting Southbourne Gardens and set between Green Lawns to the east and Dollis Crescent to the west and north west. The proposed 4 storey building of this height and scale in a relatively small backland site would be out of keeping with its immediate context.

In terms of its design and use of materials, the proposed elevations show a rather monotone design with large expanse of blank elevations with very little detailing, by erecting a 4 storey building which is going to appear as the dominant building in its surrounding a higher quality building would need to be proposed.. The proposed dormer insertions are large with the bottom of the window lining up with the eaves resulting in an incongruous roof design. The Juliet balcony detail is out of keeping with the design of the rest of the building. This application fails to incorporate principles of good design contrary to Policy DMHB 11 of the Local Plan: Part Two (2020).

Overall, the scale of the building and its design is considered unacceptable. The proposed development would have a detrimental impact on the character and appearance of the area. The proposal would fail to comply with the requirements of Policies DMHB 11 and DMHB 12 of the Local Plan: Part Two - Development Management Policies (2020).

7.08 Impact on neighbours

Policy DMHB 11 of the Local Plan: Part Two - Development Management Policies (2020) advises that all development will be required to be designed to the highest standards and incorporate principles of good design. Developments should not result in an adverse impact on the amenity, daylight and sunlight of adjacent properties and open space. The Council seeks to ensure that there is sufficient privacy for residents and it will resist proposals where there is an unreasonable level of overlooking between habitable rooms of adjacent residential properties or onto private open spaces. A minimum of 21m separation distance between windows of habitable rooms will be required to maintain

privacy. The Council will also expect new development proposals to carefully consider layout and massing in order to ensure development does not result in an increased sense of enclosure and loss of outlook.

The proposed building is set back towards the rear of the site, positioned 1m off the western boundary, 3.85m from the eastern boundary and a minimum of 4.4m off the northern (rear) boundary. The principle windows to the new properties will be orientated east west.

To the front of the building, the rear elevation of nos. 54-56 is situated approximately 21m away with private patio areas to the side of a rear projection at the same minimum distance. To the west nos. 2-8 Dollis Crescent have good sized rear gardens backing onto the site and would maintain a minimum of 28.5m to the shared boundary, as such it is not considered the proposal would significantly impact on the amenity of those occupiers. To the north, the front elevations of nos. 29-37 Dollis Crescent are separated by in excess of 22m. Ottawa House is orientated at nearly 45 degrees from the application property with the corner of that building approximately 17.6m away. It is noted that the rear windows of the proposed flats would face the rear amenity space of the flats within Ottawa House however as this is a communal area already overlooked by other flats it would be unreasonable to object on this basis. To the east the rear elevation of nos. 1-4 would face the application site set back a minimum of 13.15m from the side wall of the proposal. However the submitted plans indicate that the nearest habitable room window would maintain a minimum 15m distance from the blank flank wall of the proposal. As such it is not considered the proposed building would result in an unacceptable degree of over dominance, visual intrusion, over shadowing or loss of privacy to the detriment of the neighbouring occupiers. Therefore the proposal would comply with the aims of Policy BE1 (Built Environment) of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policy DMHB 11 of the Local Plan: Part Two - Development Management Policies (2020).

7.09 Living conditions for future occupiers

Policy 3.5 of the London Plan (2016) seeks to ensure that all housing developments are of the highest quality, both internally and externally and in relation to their context and the wider environment.

Policy DMHB 16 of the Local Plan: Part Two (2020) sets out the minimum internal floor spaces required for developments in order to ensure that there is an adequate level of amenity for existing and future occupants. The standards require a three person 2 bed flat should have a minimum floor area of 61 sq.m. The internal floor areas for the proposed flats measure 61 sq.m. All proposed habitable rooms be provided with adequate outlook and a source of natural light, therefore complying with Policy 3.5 of the London Plan (2016)

Private Outdoor Amenity Space

Policy DMHB 18 requires all new residential development to provide good quality and usable private outdoor amenity space. The development must pay attention to the quality of amenity space, its shape and position and whether the layout has regard to matters such as daylight and sunlight.

Table 5.3 identifies a requirement of 25 sq.m for each 2 bed property, giving a total requirement of 200 sq.m. The layout plan shows a provision of approximately 145 sq.m, including 2 areas of private garden areas. This area of amenity space is lined with a row of bins to its west and a large cycle store. There is no active surveillance over this area.

Overall it is considered that the application fails to provide good quality usable amenity space for future occupants contrary to Policy DMHB 18 of the Local Plan: Part Two (2020).

7.10 Traffic impact, car/cycle parking, pedestrian safety

Paragraph 108 of the NPPF (2019) notes that in assessing sites that may be allocated for development in plans, or specific applications for development, it should be ensured that safe and suitable access to the site can be delivered for all users.

Policy 6.10 of the London Plan (2016) requires development proposals to ensure high quality pedestrian environments and emphasise the quality of the pedestrian and street space.

Policy DMT 2 of the Local Plan: Part Two (2020) notes development proposals must ensure that safe and efficient vehicular access to the highways network is provided to the Council's standards.

Policy DMT 6 of the Local Plan: Part Two (2020) sets maximum car parking standards. For a development of this type it is required that the quantum of car parking provided is determined 'on an individual basis using a transport assessment and a travel plan, and in addition provision for taxi and bus/coach access and parking.

The site consists of a bank of 18 redundant garages located immediately behind No's 56 & 58 Southbourne Gardens. A formal access to the garages is located between No's 58-62. The surrounding road network exhibits an 'all day' operation Controlled Parking Zone (CPZ) and the location displays a PTAL of 2 which is considered as low and therefore heightens dependency on the ownership and usage of the private motor vehicle.

The proposal is require an on-plot provision of up to 1-1.5 parking spaces per unit totalling up to 8-12 spaces to fully comply with Hillingdon's adopted parking standard and a quantum of 6 are proposed. This falls below the adopted maximum standard. Given the site's low PTAL level of 2 there should be a provision within the stated band of the standard as dependency i.e. ownership/usage related to private motor transport is heightened as a result. As a consequence the highways officer has raised concerns with regard to the on-plot parking under-provision as it may impact on the immediate highway in parking displacement terms. However, the highways officer has also noted that this aspect of concern can be countered by the site address being made 'Resident Permit Restricted' in order to prevent future occupiers from obtaining parking permits for the local area within the adjacent PMS. The applicant has indicated agreement to this mechanism which will help deter excess car ownership/usage from within the site. This would be secured by legal agreement under Section 106 of the Town and Country Planning Act 1990 (T&CPA 1990) should the application be considered acceptable. A reason for refusal on this basis could not be sustained.

10% of parking spaces should be disabled compliant equating to 1 space, should the application be considered acceptable, this would be secured by way of a planning condition.

In line with the emerging London Plan, within the final parking quantum there is a requirement for a 20% 'active' EVCP provision with all remaining spaces (80%) being designated as 'passive' provisions, this would be secured by way of a planning condition.

In terms of cycle parking there would be a provision of at least 1 secure and accessible space for each housing unit in order which conforms to Hillingdon's cycle parking standard.

A total of 10 spaces are indicated on-plan which accord with the policy requirements for cycle parking.

Parking is arranged in communal fashion and would be accessed via an existing and narrow private access road. The roadway would function as a shared surface accommodating both pedestrian and vehicle movements which conforms to the DfT (Manual for Streets circa 2007) best practice for road and parking layouts given the respective low flows of movement involved.

The access arrangement and layout of car parking would allow vehicles (including emergency fire tenders and service vehicles) to enter and leave the site in a forward gear which is the recommended practice on highway safety grounds which is considered acceptable.

The existing dropped kerb arrangement is considered inadequate to cater for the anticipated vehicle movements into and out of the site. Should the application have been considered acceptable, a Section 278 agreement would have been required to provide widening of the carriageway in accordance with the Council's carriageway crossing standard.

In comparison to the previous garage uses when they were fully active, the level of traffic generation is anticipated to be lower as compared to the proposal. A two-way movement not exceeding 2-3 vehicles per hour during both peak traffic periods would be anticipated which is considered de-minimis in generation terms and therefore can be absorbed within the local road network without notable detriment to traffic congestion and road safety.

Refuse collection will be conducted via Southbourne Gardens with the need to enter the site. A main bin storage location is indicated in proximity of the new build and would be within the Council's 'waste collection' maximum distance parameter of 10m i.e. distance from a refuse vehicle to the point of collection. However, an on-plot site management regime should ensure that waste generated by each of the 8 units is transferred to this collection point on collection days. This is usually undertaken informally as it is in the interest of the new occupiers to have their waste collected.

Should the application be considered acceptable, a full and detailed CLP is required given the significant constraints and sensitivities of the local residential road network in order to mitigate against the potential detriment to the public realm.

7.11 Urban design, access and security

Refuse collection will be conducted via Southbourne Gardens with the need to enter the site. A main bin storage location is indicated in proximity of the new build.

The 'waste collection point' would be within the Council's 'waste collection' maximum distance parameter of 10m i.e. distance from a refuse vehicle to the point of collection. However, there is a drag distance of approximately 60m from the refuse store to the collection point.

Should the application be considered acceptable, an on-plot site management regime would have been secured by way of a condition to ensure that waste generated by each of the 8 units is transferred to this collection point on collection days.

7.12 Disabled access

Policy 3.1 of the London Plan (2016) requires development proposals to protect and enhance facilities and services that meet the needs of particular groups and communities.

Policy 7.2 of the London Plan (2016) requires design and access statements to be submitted with development proposals to explain how, following engagement with relevant user groups, the principles of inclusive design, including the specific disabled people, have been integrated into the proposed development, whether relevant best practice standards such as British Standard BS 8300:2009 + A1:2010 have been complied with, and how inclusion will be maintained and managed. The Access Officer has not raised any objections to the proposal.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, Landscaping and Ecology

Policy DMHB 14 of the Local Plan: Part Two (2020) notes all developments will be expected to retain or enhance the existing landscape, trees, biodiversity and natural features of merit. Planning applications for proposals that would affect existing trees will be required to provide an accurate tree survey showing the location, height, spread and species of trees.

The Landscape Officer has advised that there are trees close to the boundary and some shrubs alongside the driveway. According to the proposed layout, no trees will be directly affected by the siting of the building, however, construction-related activities and associated work on site may have a detrimental effect on certain trees and other established vegetation. This impact needs to be assessed and agreement reached about the tree removal and retention strategy. Full tree protection details and an arboricultural method statement would be required along with a detailed landscape scheme. These details could be conditioned if all other aspects of the proposal were acceptable.

7.15 Sustainable waste management

Not applicable to this application.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

The Flood and Water Management Officer has advised the application site lies within a critical drainage area. Details for a surface Sustainable Urban Drainage strategy could be conditioned for submission if all other aspects of the proposal were acceptable.

7.18 Noise or Air Quality Issues

Not applicable to this application.

7.19 Comments on Public Consultations

Noise and disturbance from construction is considered transitory in nature and as such is not sufficient reason for refusal in its own right. There is no right to a view within planning considerations. Issues pertaining to asbestos removal fall within the control of other legislation. All other issues are addressed appropriately within the report.

7.20 Planning Obligations

The Council adopted its own Community Infrastructure Levy (CIL) on August 1st 2014 and the Hillingdon CIL charge for residential developments is £95 per square metre of additional floorspace. This is in addition to the Mayoral CIL charge of £60 per sq metre.

7.21 Expediency of enforcement action

Not relevant to this proposal.

7.22 Other Issues

None.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable.

10. CONCLUSION

Whilst there is no objection in principle to the development, due to the layout, scale and design of the proposal it would result in an overly dominant form of development within the site's context. The application fails to provide a policy compliant mix of units that nor does it provide a policy compliant level of amenity space for future residents. This application is therefore recommended for refusal.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Development Management Policies (January 2020)
The London Plan (2016)
The Housing Standards Minor Alterations to The London Plan (March 2016)
Mayor of London's adopted Supplementary Planning Guidance - Housing (March 2016)
Technical Housing Standards - Nationally Described Space Standard
Hillingdon Design and Accessibility Statement: Accessible Hillingdon
National Planning Policy Framework

Contact Officer: Liz Arnold

Telephone No: 01895 250230



Notes:

 Site boundary

For identification purposes only.
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Site Address:

**Land at garage block
 Southbourne Gardens
 Ruislip**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:
72211/APP/2020/480

Scale:
1:1,250

Planning Committee:
North Page 90

Date:
June 2020



Report of the Head of Planning, Transportation and Regeneration

Address HUME WAY RUISLIP

Development: Installation of a 20m monopole, 12 x antenna apertures, equipment cabinets, the removal of the existing 13.7m monopole, 3 x antennas, redundant equipment cabinets and development ancillary thereto.

LBH Ref Nos: 54873/APP/2020/721

Drawing Nos:

- 405 RF Compliance Existing Elevation Rev. C
- 001 Drawing Register Rev. C
- 400 RF Compliance Existing Plan Rev. C
- 305 Equipment Schedule & Support Structure Details Rev. C
- 304 Max Configuration Antenna Schedule & Line Configuration Rev. C
- 300 Existing Antenna Schedule & Line Configuration Rev. C
- 266 Max Configuration Elevation - Sheet 2 Rev. C
- 265 Max Configuration Elevation - Sheet 1 Rev. C
- 216 Max Configuration Site Plan - Sheet 2 Rev. C
- 215 Max Configuration Site Plan - Sheet 1 Rev. C
- 150 Existing Elevation A Rev. C
- 100 Existing Site Plan Rev. C
- 007 FIXITs & Dependencies Rev. C
- 006 Services Plan Rev. C
- 005 Cherry Picker & Crane Location Rev. C
- 003 Access Plan Rev. C
- 002 Site Location Plan Rev. C
- 411 RF Compliance Max Configuration Plan - Sector A Rev. C
- 412 RF Compliance Max Configuration Plan - Sector B Rev. C
- 413 RF Compliance Max Configuration Plan - Sector C Rev. C
- 451 RF Compliance Max Configuration Elevations Rev. C
- Article 13 Notice
- Mobile UK 5G Health QA Information Paper 201:
- Council's and Connectivity - How local government can help to build mobile Britain September 2018
- MBNL 5G and Future Technology, MBNL.Supp.Info.New Tech.06.12.1
- Department for Digital, Culture, Media & Sport - Connected Growth Manua
- Matt Warman MP letter on 5G - The Next Mobile Generatio
- INT2019/11842/DC November 2019
- DCMS MHCLG Collaborating for Digital Connectivity 7th March 201:
- HGN032 - 70284 - Supplementary Informatior
- HGN032 - 70284 - Covering Letter 25th February 2020
- HGN032-70284-HUME_WAY-ICNIRP_Certificat
- HGN032 Pre-Con Letter to the LPA

Date Plans Received: 28/02/2020 **Date(s) of Amendment(s):** 03/03/2020

Date Application Valid: 15/04/2020

1. SUMMARY

This application seeks planning permission for a telecommunication installation. The proposal involves a replacement 20 metre high monopole with 12 antennas and

associated equipment cabinets. The existing telecommunication apparatus is proposed to be removed.

There are a total of 8 objections received during the course of public consultation, which was taken into consideration. Concerns of health risks from the neighbouring residents for 5G technology was raised. In terms of potential health concerns, the applicant has confirmed that the proposed installation complies with the ICNIRP (International Commissions for Non Ionising Radiation Protection) guidelines.

The proposed mast is located predominately in a residential area. The increase in height and bulk of the mast in together with the proliferation of associated equipment at street level, by reason of the quantity, design, size, scale and siting are considered to have a detrimental impact on the character and appearance of the surrounding area. Whilst the proposal is to upgrade and replace the existing apparatus in a similar location, the proposal will add undue clutter to the streetscene which will have a significant negative impact on visual amenity. This application is recommended for Refusal.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 Non Standard reason for refusal

The proposed installation of the telecommunications monopole, combined with apertures and 8 different equipment cabinets, would increase street clutter along this section of Hume Way resulting in harm the character and appearance of the immediate street scene contrary to Policy BE1 of the Hillingdon Local Plan: Part One and Policies DMHB 11, DMHB 12 and DMHB 21 of the Local Plan: Part Two - Development Management Policies (2020) and Chapter 10 of the National Planning Policy Framework (March 2012).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to REFUSE details of siting and design has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to REFUSE details of siting and design has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

DMHB 11	Design of New Development
DMHB 21	Telecommunications
DMHB 14	Trees and Landscaping
DMT 2	Highways Impacts
DMAV 1	Safe Operation of Airports
NPPF- 10	NPPF-10 2018 - Supporting high quality communications

3 I71 LBH worked applicant in a positive & proactive (Refusing)

In dealing with the application the Council has implemented the requirement in the Nationa

Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from the Local Plan Part 1, Local Plan Part 2, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service.

We have however been unable to seek solutions to problems arising from the application as the principal of the proposal is clearly contrary to our statutory policies and negotiation could not overcome the reasons for refusal.

3. CONSIDERATIONS

3.1 Site and Locality

The proposed application site is located north of Hume Way, south of no. 1-2 Hale End Close on a narrow grass verge between the pedestrian footpath and highway. The proposed telecommunication equipment directly faces onto the two lane highway and to the north of the site, there is a wide grass area comprising a number of mature, dense foliage trees. There is a telegraph pole that is in close proximity to the proposal, that spans from the north-west grass area of the application site across to the opposite side of the street towards, no. 182 Eastcote Road.

The site is 160 metres north-west of Highgrove Nature Reserve and 146 metres from Highgrove Pool and Fitness Centre and Bishop Ramsey Church of England School. The surrounding area of the site is predominately residential in nature, mainly comprising of two-storey high terraces and three storey high flats, however at the end of Hume way on the south-east is the Highgrove Pool and Fitness Centre and the Bishop Ramsey Church of England School.

The original telecommunication site proposed to be decommissioned is located 85.5 metres south-east, adjacent to no. 2 Campbell Close and the zebra crossing.

3.2 Proposed Scheme

This application seeks planning permission for the installation of a 20m monopole, 12 x antenna apertures, equipment cabinets, the removal of the existing 13.7m monopole, 3 x antennas, redundant equipment cabinets and development ancillary thereto.

The proposed monopole would have galvanised finish and the proposed cabinets are steel with grey colour finish. There are four levels of antennas on the monopole, the lower two levels would provide 2G/3G/4G coverage while the upper two levels would provide 5G coverage. The proposed equipment will be shared by two operators, EE and H3G.

Proposed cabinets sizes:

- 2000mm (W) x 750mm (D) x 1850mm (H)
- 600mm (W) x 600mm (D) x 1900mm (H)
- 1200mm (W) x 500mm (D) x 1700mm (H)
- 600mm (W) x 600mm (D) x 1800mm (H)
- 600mm (W) x 600mm (D) x 1800mm (H)
- 1230mm (W) x 400mm (D) x 1032mm (H)
- 600mm (W) x 600mm (D) x 1200mm (H)
- 1600mm (W) x 700mm (D) x 1600mm (H)

The existing telecommunication are used for 2G/3G/4G technologies for EE and 3G/4G for H3G.

3.3 Relevant Planning History

54873/APP/2000/551 Land Adjacent To 1 - 3 Campbell Close Hume Way Ruislip

INSTALLATION OF A GROUND BASED 12 METRE HIGH 'STREETWORKS' MONOPOLE MA WITH ASSOCIATED ANTENNAS, EQUIPMENT CABINET AND ANCILLARY DEVELOPMENT (CONSULTATION UNDER SCHEDULE 2, PART 24 OF THE TOWN AND COUNTRY PLANNING ACT 1990) (GENERAL PERMITTED DEVELOPMENT) ORDER 1995)(AS AMENDED)

Decision: 12-10-2001 NFA

Comment on Relevant Planning History

A Prior Approval under planning application ref: 54873/APP/2000/551 was determined with no further action dated 12-10-01 for the installation of a ground based 12 metres high 'streetworks' monopole mast with associated antennas, equipment cabinet and ancillary development. The site is located on land adjacent to 1-3 Campbell Close Hume Way.

It should be noted that the documents submitted indicates that the existing site adjacent to 1-3 Campbell Close is a 13.7m high monopole with four cabinets, however there are no planning records available in regards to the existing monopole.

4. Planning Policies and Standards

London Borough of Hillingdon Development Plan (from 6th April 2020)

1.1 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

1.2 The Development Plan for the London Borough of Hillingdon currently consists of the following documents:

The Local Plan: Part 1 - Strategic Policies (2012)

The Local Plan: Part 2 - Development Management Policies (2020)

The Local Plan: Part 2 - Site Allocations and Designations (2020)

West London Waste Plan (2015)

The London Plan - Consolidated With Alterations (2016)

1.3 The National Planning Policy Framework (NPPF) (2019) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.

Emerging Planning Policies

1.4 Paragraph 48 of the National Planning Policy Framework (NPPF) 2019 states that 'Local Planning Authorities may give weight to relevant policies in emerging plans according to:

(a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);

(b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and

(c) the degree of consistency of the relevant policies in the emerging plan to this

Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

Draft London Plan (Intend to Publish Version, December 2019)

1.5 The GLA consulted upon a draft new London Plan between December 2017 and March 2018 with the intention of replacing the previous versions of the existing London Plan. The Plan was subject to examination hearings from February to May 2019, and a Consolidated Draft Plan with amendments was published in July 2019. The Panel of Inspectors appointed by the Secretary of State issued their report and recommendations to the Mayor on 8th October 2019.

1.6 The Mayor has considered the Inspectors' recommendations and, on 9th December 2019, issued to the Secretary of State his intention to publish the London Plan along with a statement of reasons for the Inspectors' recommendations that the Mayor did not wish to accept. The Secretary of State responded on the 13th March 2020 and stated that he was exercising his powers under section 337 of the Greater London Authority Act 1999 to direct that modifications are required. These are set out at Annex 1 of the response, however the letter does also state that if the Mayor can suggest alternative changes to policies that would address the concerns raised, these would also be considered.

1.7 More limited weight should be attached to draft London Plan policies where the Secretary of State has directed modifications or where they relate to concerns raised within the letter. Greater weight may be attached to policies that are not subject to modifications from the Secretary of State or that do not relate to issues raised in the letter.

UDP / LDF Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMHB 11 Design of New Development

DMHB 21 Telecommunications

DMHB 14 Trees and Landscaping

DMT 2 Highways Impacts

DMAV 1 Safe Operation of Airports

NPPF- 10 NPPF-10 2018 - Supporting high quality communications

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- **6th April 2020**

6. Consultations

External Consultees

A total of 108 neighbouring owners/occupiers, Ruislip Residents Association and Eastcote Residents Association was consulted. A total of 8 objections has been received via public consultation.

Summary of the objections:

- Very close to residential dwelling
- Proposed is higher than existing structure and additional equipment
- Health and safety concerns of 5G including radiation impacts, long term damage, exposure time lead to health risk to bodily organ, how much heat will these waves create and what heat (temperature) is considered unsafe, noise level emitted, impact on wildlife, increase cancer risk, cellular stress, increase in harmful free radicals, genetic damages, structural and functional changes of the reproductive system, learning and memory deficits, neurological disorders, memory loss, eye damage and negative impacts on general well-being in humans
- Insufficient safety data/evidence provided on EMF waves relating to health risk/cancer
- Uncertain impact of significantly increased mobile data usage
- Proposed will be very disruptive
- Is there consideration being made to how health of residents might be safeguarded from the side effects of this new installation?
- Very unsightly, especially at the start of Hume Way
- Prefer 5G technology not to be build less than 100m from residential property
- Technology no proven to be safe or long term exposures and many studies on 2G, 3G and 4G show their detrimental effects on humans and animals
- 5G is absolutely NOT safe at all, strongly urge the council not to install such devices in the borough
- Do not want one build less than 100 metres away from residential properties

Case Officer's Comments:

The agent has provided a signed Declaration of Conformity with the ICNIRP. The proposed equipment is compliance with the requirements of the radio frequency public exposure guidelines.

NATS:

The proposed development has been examined from a technical safeguarding aspect and does not conflict with our safeguarding criteria. Accordingly, NATS (En Route) Public Limited Company ("NERL") has no safeguarding objection to the proposal.

However, please be aware that this response applies specifically to the above consultation and only reflects the position of NATS (that is responsible for the management of en route air traffic) based on the information supplied at the time of this application. This letter does not provide any indication of the position of any other party, whether they be an airport, airspace user or otherwise. It remains your responsibility to ensure that all the appropriate consultees are properly consulted.

If any changes are proposed to the information supplied to NATS in regard to this application which become the basis of a revised, amended or further application for approval, then as a statutory consultee NERL requires that it be further consulted on any such changes prior to any planning permission or any consent being granted.

NORTHOLT SAFEGUARDING:

No comments received at the time this report was submitted to committee.

Internal Consultees

HIGHWAYS OFFICER:

Original Comments - As telecom provisions are already in place on the grass verge at this location without prejudice to the adjacent foot-way, the proposal does not give rise for further comment.

Revised Comments - As the footway adjacent to the proposed apparatus at both locations in Hume Way is to remain unimpeded, there are no envisaged highway usage/safety implications identified

with this application. There are no further observations.

TREES/LANDSCAPE OFFICER:

This site is located within a narrow grass verge between a pedestrian crossing and the junction with Campbell Close. The verge already houses a monopole and associated telecoms cabinets. There is a wide area of open space (mow grass) with mature trees and other vegetation on the far side of the foot way. This contributes to the character and appearance of the area and to some extent distracts attention away from the unsightly street clutter of the telecoms furniture. This area is not affected by TPO or Conservation Area designation. COMMENT No trees or other landscape features of merit will be affected by the replacement of the existing telecoms paraphernalia. The proposal complies with policy DMHB 14 and must also comply with policy DMHB 21. RECOMMENDATION No objection and no need for landscape conditions.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The application has been assessed principally against the National Planning Policy Framework (NPPF) and Policy DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020).

The NPPF stresses the importance of advance, high quality and reliable communications. It states infrastructure is essential for economic growth and social well-being. The number of radio and electronic communications masts, and the sites for such installations, should be kept to a minimum consistent with the needs of consumers, the efficient operation of the network and providing reasonable capacity for future expansion.

Policy DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020) states that telecommunications developments will be acceptable in principle provided that any apparatus is sited and designed so as to minimise its effect on the appearance of the surrounding areas. The local planning authority will only grant permission for structures where:

- i) it is sited and designed to minimise their visual impact;
- ii) it does not have a detrimental effect on the visual amenity, character or appearance of the building or the local area;
- iii) it has been demonstrated that there is no possibility for use of alternative sites, mast sharing and the use of existing buildings;
- v) there is no adverse impact on areas of ecological interest, areas of landscape importance, archaeological sites, Conservation Areas or buildings of architectural or historic interest; and
- vi) it includes a Declaration of Conformity with the International Commission on Non Ionizing Radiation.

A signed Declaration of Conformity with the ICNIRP has been included in the submission. The proposal is for the replacement of an existing mast that provides coverage, for both EE Ltd and H3G Ltd, to the surrounding area. Government guidance encourages the sharing of sites between operators and the use of existing site, therefore the principle of a replacement mast and associated equipment is considered acceptable subject to other material considerations outlined in this report.

7.02 Density of the proposed development

Not applicable to the consideration of this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable to the consideration of this application.

7.04 Airport safeguarding

Policy DMAV 1 of the Local Plan: Part 2 - Development Management Policies (2020) states that proposals that may be hazard to aircraft safety will not be permitted.

The application site is situated 2.18km from Northolt Aerodrome. NATS was consulted and no objections were raised, however no comments were received by RAF Northolt at the time that this report was submitted to committee.

7.05 Impact on the green belt

Not applicable to the consideration of this application, this site is not located within the Green Belt.

7.07 Impact on the character & appearance of the area

Policy DMHB 11 of The Local Plan: Part 2 - Development Management Policies (2020) ensures all development to harmonise with the local context by harmonising with the local context by taking into account the surrounding; scale of development, considering the height, mass and bulk of adjacent structures; building plot sizes and widths, plot coverage and established street patterns; building lines and setbacks, rooflines, streetscape rhythm, for example, gaps between structures and other streetscape elements, such as degree of enclosure; architectural composition and quality of detailing; local topography, views both from and to the site; and impact on neighbouring open spaces and their environment.

Policy DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020) states that Telecommunication development will only be permitted where: i) it is sited and designed to minimise their visual impact; ii) it does not have a detrimental effect on the visual amenity, character or appearance of the building or the local area.

The proposed replacement monopole is 20m high, which is 6.3 metres taller than the existing (an increase of 46% in height). When viewed from the street, the base of the mast is much bulkier than the existing and is akin to the provision of an extra cabinet at this level. Allied to this, the proposed mast is larger and higher, such that it would be much more prominent than any of the street lighting columns.

The proposed new cabinets will be located in a row along the narrow grass verge. The cabinets range in height from 1 to 1.9 metres. The size, height, and the number of cabinets proposed requires a considerable larger footprint than the existing and the number of cabinets at a height of 1.8m or above totals 4, with a further 4 being just below, where currently there are no cabinets of this size and scale. Thus, the proposed mast and the proposed associated cabinets, by reason of the quantity, size, scale and siting are considered to have a detrimental impact on the character and appearance of the surrounding area. Whilst the proposal is to upgrade and replace the existing apparatus in a similar location, the proposal will add undue clutter to the streetscene which will have a significant negative impact on visual amenity. As such, the proposal is contrary to Policy BE1 of The Local Plan: Part 1 - Strategic Policies (2012) and Policies DMHB 11, DMHB 12 and DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020).

7.08 Impact on neighbours

Policy DMHB 11 of The Local Plan: Part 2 - Development Management Policies (2020) seeks to ensure that developments do not adversely impact on the amenity of adjacent properties, and seeks to protect outlook for residents, defined as the visual amenity enjoyed by occupants when looking out of their windows.

The nearest neighbours are 13 metres away, no. 1 and 2 Hale End Close is located on the north-east which has two habitable windows on the first floor level that faces directly onto

Hume Way and no. 182 Eastcote Road, located just south across the highway.

Based on the location of the proposed telecommunication equipment, the habitable window to no. 1 Hale End Close will be obscured by its Ground Floor level slanted roof and the existing vertical features/trees on the grass area. However, the habitable window to no. 2 Hale End Close will have a directly line of sight of the proposed equipment and must therefore the proposal would impact on the outlook of the existing residents and this proposal fails to accord with Policy DMHB 11 of The Local Plan: Part 2 - Development Management Policies (2020).

7.09 Living conditions for future occupiers

Not applicable to the consideration of this application.

7.10 Traffic impact, car/cycle parking, pedestrian safety

Policy DMT 2 of The Local Plan: Part 2 - Development Management Policies (2020) states that development proposals must ensure that they do not contribute to the deterioration of air quality, noise or local amenity or safety of all road users and residents and to ensure that developments do not adversely impact on the amenity of adjacent properties, and seeks to protect outlook for residents, defined as the visual amenity enjoyed by occupants when looking out of their windows.

The proposal is located on the grass verge in close proximity to the public highway and is set back at least 12 metres from the junction of Eastcote Road and Hume Way. The Council's Highways Officer has viewed the proposal and concluded that there is no envisaged highway safety implications identified with this application. The proposal is considered to comply with Policy DMT 2 of The Local Plan: Part 2 - Development Management Policies (2020).

7.11 Urban design, access and security

Please see the 'Impact on the character & appearance of the area' section of the report.

7.12 Disabled access

Not applicable to the consideration of this application.

7.13 Provision of affordable & special needs housing

Not applicable to the consideration of this application.

7.14 Trees, Landscaping and Ecology

Policy DMHB 14 of The Local Plan: Part 2 - Development Management Policies (2020) states that all developments will be expected to retain or enhance existing landscaping, trees, biodiversity or other natural features of merit.

The proposed telecommunication equipment and monopole is to be located on the grass verge between the pedestrian footpath and highway. Despite the dense foliage from neighbouring trees, the proposal would not be impacted. The Council's Trees/Landscape Officer has assessed this application and no objections are raised. As such, the proposal is considered to comply with Policy DMHB 14 of The Local Plan: Part 2 - Development Management Policies (2020).

7.15 Sustainable waste management

Not applicable to the consideration of this application.

7.16 Renewable energy / Sustainability

Not applicable to the consideration of this application.

7.17 Flooding or Drainage Issues

Not applicable to the consideration of this application.

7.18 Noise or Air Quality Issues

Not applicable to the consideration of this application.

7.19 Comments on Public Consultations

Comments received to this application have been addressed within the main body of the report.

7.20 Planning Obligations

None.

7.21 Expediency of enforcement action

None.

7.22 Other Issues

HEALTH:

In terms of potential health concerns, the applicant has confirmed that the proposed installation complies with the ICNIRP (International Commissions for Non Ionising Radiation Protection) guidelines. Accordingly, in terms of Government policy advice, there is not considered to be any direct health impact. Therefore, further detailed technical information about the proposed installation is not considered relevant to the Council's determination of this application.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable.

10. CONCLUSION

This application seeks planning permission for a telecommunication installation. The proposal involves a replacement 20 metre high monopole with 12 antennas and associated equipment cabinets and the removal of existing telecommunication apparatus.

The proposed telecommunications monopole, combined with the apertures and equipment cabinets, would increase street visual clutter which would result in a detrimental impact on the character and appearance of the immediate street scene, the surrounding area. For the reasons set out within this report, this application is recommended for Refusal.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Development Management Policies (January 2020)
The London Plan (2016)
National Planning Policy Framework

Contact Officer: Rebecca Lo

Telephone No: 01895 250230



Notes:

 Site boundary

For identification purposes only.
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Site Address:

**Hume Way
Ruislip**

**LONDON BOROUGH
OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:
54873/APP/2020/721

Scale:
1:1,250

Planning Committee:
North Page 102

Date:
June 2020



Report of the Head of Planning, Transportation and Regeneration

Address WEYBEARDS FARM, PRIMROSE COTTAGE HILL END ROAD HAREFIELD

Development: Conversion of existing barns into 4 (2 x 2 bedroom and 2 x 3 bedroom) residential units, including alterations to fenestration with associated works

LBH Ref Nos: 72546/APP/2019/3837

Drawing Nos: 2019/228/007A
H20-02-02-S01 Rev. P1
H20-02-02-S02 Rev. P1
H20-02-02-S03 Rev. P1
Preliminary Ecological Assessment Report Number:
ASW/ACF/019/23/2019
Bat Emergence Report Number: ASW/ACF/033/23/2019
I1616-F
2019/228/005A
2019/228/003A
2019/228/004A
2019/228/006A
2019/228/001
2019/228/002

Date Plans Received: 27/11/2019

Date(s) of Amendment(s): 28/11/2019

Date Application Valid: 16/01/2020

27/11/2019

04/03/2020

1. SUMMARY

The application proposal seeks to convert an existing and under utilised barn to provide 4 dwellinghouses. The proposal is considered to be acceptable in regards to the impact of the Green Belt. The development would provide high quality living accommodation for future occupants and would not have an impact on the residential amenity of neighbouring properties. The setting of the site the existing barn would improve through the removal of the infill element and the manege. The development is considered to comply with relevant local, London Plan and national planning policies and guidance and for the reasons set out within this report, approval is recommended.

2. RECOMMENDATION

To approve this application subject to the following conditions:

1 RES3 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 RES4 Accordance with Approved Plans and Supporting Documents

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 2019/228/003A,

2019/228/004A, 2019/228/005A, 2019/228/006A, 2019/228/007A, H20-02-02-S01 Rev. P1, H20-02-02-S02 Rev. P1, H20-02-02-S03 Rev. P1, Preliminary Ecological Assessment Report Number: ASW/ACF/019/23/2019 and Bat Emergence Report Number: ASW/ACF/033/23/2019 and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan Part 1, Hillingdon Local Plan: Part 2 - Development Management Policies (Jan 2020) and the London Plan (2016).

3 RES7 Materials (Submission)

Notwithstanding the approved plans, before any building operations above ground level hereby permitted are commenced, samples and details of the proposed external materials including details of flush fitting conservation roof lights; and detailed drawings, manufacturer information, product type/code and RAL colour of the proposed windows and doors shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy DMHB 11 of Hillingdon Local Plan: Part 2 - Development Management Policies (March 2020)

4 RES9 Landscaping (car parking & refuse/cycle storage)

Prior to above ground works, a landscape scheme shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include:

1. Details of Soft Landscaping

1.a Planting plans (at not less than a scale of 1:100),

1.b Written specification of planting and cultivation works to be undertaken,

1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate

2. Details of Hard Landscaping

2.a Refuse Storage, refuse management and collection point

2.b Cycle Storage with capacity for 8 bicycles

2.c Means of enclosure/boundary treatments

2.d Car Parking Layouts for 8 cars including details of electric vehicle charging provision for 1 active space and passive provision for a further 3 spaces

2.e Hard Surfacing Materials

2.f External lighting

3. Details of Landscape Maintenance

3.a Landscape Maintenance Schedule for a minimum period of 5 years.

3.b Proposals for the replacement of any tree, shrub, or area of surfacing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.

4. Schedule for Implementation

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with Policies DMHB 11, DMHB 12, DMHB 14, DMEI 1 and DMT 2 of the Hillingdon Local Plan Part 2 (2020) and Policies 5.11 and 5.17 of the London Plan (March 2016).

5 NONSC Non Standard Condition

No demolition works to the existing barns shall take place other than that indicated on the approved plans.

REASON

To ensure the development is for a conversion of the existing buildings and therefore fully compliant with the provisions of the Hillingdon Local Plan Part 1, Hillingdon Local Plan: Part 2 - Development Management Policies (Jan 2020) and the London Plan (2016).

6 RES14 Outbuildings, extensions and roof alterations

Immediately following the implementation of this permission, notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any other revoking and re-enacting that order with or without modification) no development within the following Classes of Schedule 2 of the Order shall take place.

Part 1

Class A - enlargement, improvement or other alteration to the dwelling

Class B - enlargement consisting of an addition to the roof

Class C - alteration to the roof

Class D - erection of a porch

Class E - provision of any building or enclosure (includes outbuildings)

Class F - any hard surface

Part 2

Class A - erection, construction, maintenance or alteration of a gate, fence, wall or other means of enclosure.

No development of any of the above classes shall be constructed or placed on any part of the land subject of this permission.

REASON

To protect the character and appearance of the area, the openness of the Green Belt and amenity of residential occupiers in accordance with policies Policy DMHB 11 of the Hillingdon Local Plan: Part 2 - Development Management Policies (2020).

7 NONSC Biodiversity

The works hereby permitted shall not commence until the Local Planning Authority has been provided with a copy of a European Protected Species Mitigation Licence (EPS) (under the 2010 Regulations) is issued by Natural England pursuant to Regulation 53 of The Conservation of Habitats and Species Regulations 2017 authorising the specified development to go ahead. Development shall then proceed in accordance with that licence and in accordance with the approved ecological report (ASW Ecology Sept 2019).

All mitigation and compensation measures shall be fully installed before occupation and retained as such thereafter.

REASON

To ensure compliance with the Conservation of Habitats and Species Regulations 2017 (as amended) and to ensure biodiversity is conserved and enhanced in accordance with Policy DMEI 7 of the Local Plan: Part Two (2020) and the NPPF (2019).

8 RES17 Sound Insulation

The noise level in rooms at the development hereby approved shall meet the internal noise levels specified in BS8233:2014 for internal rooms and external amenity areas.

REASON

To ensure that the amenity of the occupiers of the proposed development is not adversely affected by (road traffic) (rail traffic) (air traffic) (other) noise in accordance with policy EM8 of the Local Plan Part 1 (2012), DMAV 2-3 of the Hillingdon Local Plan Part 2 (2020) and London Plan (2016) Policy 7.15.

9 NONSC Accessibility - M4(2) Dwellings

The dwellings hereby approved shall be constructed to meet the standards for a Category 2 M4(2) dwelling, as set out in Approved Document M to the Building Regulations (2010) 2015, and all such provisions shall remain in place for the life of the building.

REASON

To ensure that an appropriate standard of housing stock, in accordance with London Plan policy 3.8 c, is achieved and maintained.

10 RES24 Secured by Design

The dwellings and amenity areas shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No dwelling shall be occupied until accreditation has been achieved.

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to ensure the development provides a safe and secure environment in accordance with policy DMHB 15 of the Local Plan Part 2 (2020) and London Plan (2015) Policies 7.1 and 7.3.

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies

and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

DMCI 7	Planning Obligations and Community Infrastructure Levy
DMEI 10	Water Management, Efficiency and Quality
DMEI 4	Development on the Green Belt or Metropolitan Open Land
DMEI 9	Management of Flood Risk
DMH 2	Housing Mix
DMHB 11	Design of New Development
DMHB 12	Streets and Public Realm
DMHB 14	Trees and Landscaping
DMHB 15	Planning for Safer Places
DMHB 16	Housing Standards
DMHB 17	Residential Density
DMHB 18	Private Outdoor Amenity Space
DMT 1	Managing Transport Impacts
DMT 2	Highways Impacts
DMT 5	Pedestrians and Cyclists
DMT 6	Vehicle Parking
LPP 2.6	(2016) Outer London: vision and strategy
LPP 3.3	(2016) Increasing housing supply
LPP 3.4	(2015) Optimising housing potential
LPP 3.5	(2016) Quality and design of housing developments
LPP 3.8	(2016) Housing Choice
LPP 3.9	(2016) Mixed and Balanced Communities
LPP 5.12	(2016) Flood risk management
LPP 5.13	(2016) Sustainable drainage

3 12 **Encroachment**

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then the validity of this planning permission may be challengeable by third parties.

4 115 **Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

5 148 Refuse/Storage Areas

The proposed refuse and recycling storage areas meet the requirements of the Council's amenity and accessibility standards only. The proposed storage area must also comply with Part H of the Building Regulations. Should design amendments be required to comply with Building Regulations, these should be submitted to the Local Planning Authority for approval. For further information and advice contact - Planning & Community Services, Civic Centre, Uxbridge, UB8 1UW (Tel: 01895 250400).

6 160 Cranes

Given the nature of the proposed development it is possible that a crane may be required during its construction. The applicant's attention is drawn to the requirement within the British Standard Code of Practice for the safe use of Cranes, for crane operators to consult the aerodrome before erecting a crane in close proximity to an aerodrome. This is explained further in Advice Note 4, 'Cranes and Other Construction Issues' (available at www.aoa.org.uk/publications/safeguarding.asp)

7

In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from the 'Saved' UDP 2012, Local Plan Part 1, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service, in order to ensure that the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

3. CONSIDERATIONS

3.1 Site and Locality

The application site is located on the western side Springwell Lane accessed via a single track that serves Farm Side Cottages, Primrose Cottage and Weybeards Farm. The site comprises a small complex of stables forming a U shape and a manege within a setting of small scale fields situated on high ground to the east of the Colne Valley. Immediately to the south west of the site application site is Primrose Cottage. The area between Primrose Cottage and the application site is hard landscaped.

The whole site is designated as within the Metropolitan Green Belt, Colne Valley Regional Park and the Colne Valley Archaeological Priority Zone.

3.2 Proposed Scheme

The development would involve the conversion of the existing stables / storage area (the barn) into 4 residential (2 x 2 bedroom and 2 x 3 bedroom) dwellings with the associated demolition of an infill extension under a corrugated metal roof. The development would therefore involve a change of use of the retained building and the land on which it stands. Associated alterations to provide windows and doors to each of the unit is also proposed.

Vehicular access will be from the existing gated access point. Two parking spaces would be provided for each residential unit accessed from the single track which is situated on the south eastern boundary of the site.

The proposal also includes the removal of the existing menage new and soft landscaping to facilitate private amenity space for each unit.

Amended plans were received during the course of the application which removed car parking from the courtyard to the hard surfaced area immediately to the south of the site. Alterations were made to the soft landscaping to provide a buffer around Unit 4 and habitable rooms windows facing onto the courtyard. The fenestration detail was altered following the Conservation Officer's comments.

3.3 Relevant Planning History

72546/PRC/2017/10 Barns At Primrose Cottage Hill End Road Harefield
PART DEMOLITION AND CONVERSION OF EXISTING BUILDINGS TO FORM 5no. DWELLING WITH GARDENS

Decision: 10-03-2017 OBJ

Comment on Relevant Planning History

There is no relevant planning history related to this site.

4. Planning Policies and Standards

Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

The Development Plan for the London Borough of Hillingdon currently consists of the following documents:

The Local Plan: Part 1 - Strategic Policies (2012)
The Local Plan: Part 2 - Development Management Policies (2020)
The Local Plan: Part 2 - Site Allocations and Designations (2020)
West London Waste Plan (2015)
The London Plan - Consolidated With Alterations (2016)

The National Planning Policy Framework (NPPF) (2019) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.

Emerging Planning Policies

Paragraph 48 of the National Planning Policy Framework (NPPF) 2019 states that 'Local Planning Authorities may give weight to relevant policies in emerging plans according to:

- (a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);
- (b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
- (c) the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

Draft London Plan (Intend to Publish Version, December 2019)

The GLA consulted upon a draft new London Plan between December 2017 and March 2018 with the intention of replacing the previous versions of the existing London Plan. The Plan was subject to examination hearings from February to May 2019, and a Consolidated Draft Plan with amendments was published in July 2019. The Panel of Inspectors appointed by the Secretary of State issued their report and recommendations to the Mayor on 8th October.

The Mayor has considered the Inspectors' recommendations and, on the 19th December 2019, issued to the Secretary of State his intention to publish the London Plan along with a statement of reasons for any of the Inspectors' recommendations that the Mayor does not wish to accept.

Limited weight should be attached to draft London Plan policies that have not been accepted by the Mayor or that have only been accepted in part/with significant amendments. Greater weight may be attached to policies that were subject to the Inspector's recommendations and have since been accepted by the Mayor through the 'Intend to Publish' version of the Plan. The weight will then increase as unresolved issues are overcome through the completion of the outstanding statutory process. Greater weight may also be attached to policies, which have been found acceptable by the Panel (either expressly or by no comment being made).

UDP / LDF Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.BE1 (2012) Built Environment
- PT1.EM2 (2012) Green Belt, Metropolitan Open Land and Green Chains
- PT1.H1 (2012) Housing Growth

Part 2 Policies:

- DMCI 7 Planning Obligations and Community Infrastructure Levy
- DMEI 10 Water Management, Efficiency and Quality
- DMEI 4 Development on the Green Belt or Metropolitan Open Land
- DMEI 9 Management of Flood Risk
- DMH 2 Housing Mix
- DMHB 11 Design of New Development
- DMHB 12 Streets and Public Realm
- DMHB 14 Trees and Landscaping
- DMHB 15 Planning for Safer Places
- DMHB 16 Housing Standards
- DMHB 17 Residential Density
- DMHB 18 Private Outdoor Amenity Space
- DMT 1 Managing Transport Impacts
- DMT 2 Highways Impacts

- DMT 5 Pedestrians and Cyclists
- DMT 6 Vehicle Parking
- LPP 2.6 (2016) Outer London: vision and strategy
- LPP 3.3 (2016) Increasing housing supply
- LPP 3.4 (2015) Optimising housing potential
- LPP 3.5 (2016) Quality and design of housing developments
- LPP 3.8 (2016) Housing Choice
- LPP 3.9 (2016) Mixed and Balanced Communities
- LPP 5.12 (2016) Flood risk management
- LPP 5.13 (2016) Sustainable drainage

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- 17th February 2020

5.2 Site Notice Expiry Date:- 17th February 2020

6th May 2020

6. Consultations

External Consultees

The application was consulted upon by a site notice between 27-01-2020 and 17-02-2020. Amended plans were consulted on between 15-04-2020 and 06-05-2020.

STATUTORY CONSULTTEES

Colne Valley Working Party

No response received

HS2 Safeguarding

I can confirm that no part of the application red line boundary falls within land safeguarded for Phase One of HS2. As such we have no specific comments to make on the proposed change of use in this location.

GLAAS

Having considered the proposals with reference to information held in the Greater London Historic Environment Record and/or made available in connection with this application, I conclude that the proposal is unlikely to have a significant effect on heritage assets of archaeological interest.

Although within the Colne Valley Archaeological Priority Zone the proposed development is too small-scale to be likely to cause harm. No further assessment or conditions are therefore necessary.

Natural England

Thank you for consulting Natural England on the above planning application. Despite the development's close proximity to Old Park Wood SSSI I have not identified any impact pathways for the development to cause harm to the SSSI. Because of this we have no comments or objections to make on the application at this time.

Herts and Middlesex Wildlife Trust

The supporting bat survey provides an acceptable mitigation strategy. Therefore the following condition adapted from BS 42020 should be applied to the decision: Condition: Works shall not in any circumstances commence unless the local planning authority has been provided with a copy of the licence issued by [the relevant licensing body] pursuant to Regulation 53 of The Conservation of Habitats and Species Regulations 2017 authorising the specified activity/development to go ahead. Development shall then proceed in accordance with that licence and in accordance with the approved ecological report (ASW Ecology Sept 2019). All mitigation and compensation measures shall be fully installed before occupation and retained as such thereafter. Reason: To ensure compliance with the Conservation of Habitats and Species Regulations 2017 (as amended) and to ensure biodiversity is conserved and enhanced in accordance with NPPF. The LPA should show that they have had regard to the 3 tests of the European Protected Species Mitigation Licence in reaching their decision.

Internal Consultees

Conservation Officer (Original Comments -ALSO SEE FINAL COMMENTS BELOW):

No objection to the principle, further information required and amendments recommended.

Assessment - background/significance.

The origins of Weybeards Farm date back to a much older, potentially medieval farmstead. However overtime it has changed leaving little historic evidence a part from a 19 th century structure to the south of the stable block. The existing stable block appears to be an early 20 th century structure arranged in a U-shape plan form. It was most likely built in phases when looking at the quality of the construction and internal layout. It is a timber framed building comprising of three principle parts. The western end of the southern range includes loose boxes for horses. The remaining buildings are currently used as storage. The structure appears to sit off a concrete plinth and is externally finished in black stained, feather edge timber cladding. The existing 'internal' covered courtyard is a modern alteration and the covering is separate to the U-shaped building. The site is located within an APZ and to the west of the site is the Coppermill Lock Conservation Area and to the south Harefield Village Conservation Area. Whilst not formally considered as designated or non designated heritage assets, the site still forms part of and contributes to the historic environment and the history of the place and Harefield.

Assessment - Impact

Taking into account the status of the existing buildings, from a conservation perspective the principal of converting them into residential units would be considered admissible in this instance. However it is important the stable-like aesthetic is retained by alongside creating sustainable residential dwellings. Openings should reflect the agricultural character of the building. Overly domestic window openings or doors are unlikely to be considered appropriate. They should be ideally be of timber construction and match the colour of the external cladding.

The proposed arrangement of units appears to work on plan, with all accessed via the shared courtyard. Whilst an access from the southern aspect into the courtyard would be considered admissible the enclosure of the courtyard along the western elevation would be considered unacceptable. The removal of the covering over the courtyard is beneficial however in order to further open up the space and once again reconnect the buildings to their rural landscape ideally no boundary treatment should exist along the western elevation, alternatively a low rise soft boundary treatment could be used to demark the courtyard environment.

There would be concerns in relation to the proposed parking arrangement within the courtyard. The proposed arrangement would result in vehicles parked up against units that they do not relate to, with parking provision for units 2, 3 and 4 against units 1 and 2. All the proposed parking spaces would disrupt any outlook from unit 1 into the courtyard. This would be far from ideal and an alternative solution would need to be explored or appropriate buffers placed between the units and parking spaces.

The proposed window openings along the eastern elevation of the buildings associated to unit 3 (eastern barn) would be considered excessive. Whilst it is duly noted that the openings correspond to existing barn openings it would result in the eastern elevation of unit 3 being primarily glazed which would be starkly different to the existing appearance of the property. It is recommended that the number of floor to ceiling openings is reduced. Where existing openings include timber doors it is recommended they are retained externally either fixed against the building or perhaps used as shutters. The division between private amenity spaces needs to be as informal as possible in order to retain the sense of openness within the rural landscaped. Therefore is strongly recommended

soft boundary treatments such as hedges are used to separate the spaces or a low -rise timber post and rail fence could be considered. From looking at the submitted plans it is not clear how the amenity spaces are directly accessed from their respective units. This would need to be clarified. All new roof lights should be conservation roof lights set flush along the roofline. Further details of the external material finishes would be required however this can be covered by way of condition. Conclusion: No objections to the principle however highlighted concerns in relation to car parking arrangements and access to amenity spaces from units. Minor amendments recommended to proposed window openings.

Conservation Officer: COMMENTS ON REVISED PLANS (FINAL COMMENTS):

Summary of comments: No objection to the principle, further information required and amendments recommended. Assessment - amended proposal As noted previous the principal of converting the existing buildings into residential units would be considered admissible in this instance. The amended proposal appears to have addressed previous comments in relation to car parking arrangement, and window openings associated to Unit 3. Therefore there are no objections to this proposal.

Conclusion: No objections - conditions recommended

Conditions recommended:

Prior to installation details and samples of all new external materials, finishes and colours shall be submitted to and approved in writing by the Local Planning Authority. Details shall include manufacturer information, the product type/code and colour (i.e. RAL number), where relevant. Works shall be carried out in accordance to approved details.

Boundary treatments

Prior to installation, details of all boundary treatments shall be submitted to and approved in writing by the Local Planning Authority. Details shall form part of a landscaping plan and include manufacturer information, the product type and code where relevant. Works shall be carried out in accordance to approved details.

Windows and doors

Prior to installation, details including scaled detailed drawings, manufacturer information, product type/code and RAL colour of the proposed windows and doors shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to approved details.

Roof lights

Prior to installation, details of all flush fitting conservation roof lights shall be submitted to and approved in writing by the Local Planning Authority. Details shall include manufacturer information, the product type and code. Works shall be carried out in accordance to approved details.

Trees and Landscaping Officer

This site is occupied by a small complex of stables, U-shaped barns, a modern roofed barn and a manege, within a setting of small scale fields situated on high ground to the east of the Colne Valley. The key characteristics of the site are described in Hillingdon's Landscape Character Assessment, ref. LCA C1 'Hill End Undulating Farmland'. LCA C1 is described as:

- 'an elevated, gently undulating small scale farmland landscape steeply rising to the east of the Colne Valley fields of rough grazing and paddocks are delineated by hedgerows with trees and wooden post and rail fencing. The settlement density is low, comprising scattered farmsteads and linearly dispersed settlement along Springwell Lane and Hill End Road dense network of footpaths.

Open views across farmland with important views west over the Colne Valley rural character prevails and a low diffusion of people contributes to a sense of tranquillity.' The site lies within the Green Belt.

COMMENT: This submission is an amended scheme. Previous landscape comments were submitted on 12 February 2020 and remain unchanged: No trees or other landscape features of merit will be affected by the proposal. The scheme will benefit from the removal of modern roofed section spanning the gap between the two arms of the barns, together with the manege. The proposal involves the restoration and conversion of existing buildings with no significant increase in footprint.

Highways Officer (Summary)

No objections were raised to the application, the comments are incorporated into the main body of the report.

Access Officer

This development application has been assessed against the requirements of London Plan policy 3.8 (c). Given that the existing dwellinghouse is not particularly accessible, and as only relatively minor works would be required to execute the proposed conversion, the above policy should not be applied. Conclusion: acceptable

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Provision of New Homes

Policy 3.3 of the London Plan (March 2016) seeks to ensure that London's housing needs are met. This objective is reiterated in the Mayor of London's Supplementary Planning Guidance (SPG) on Housing. Policy 3.4 of The London Plan (2016) promotes the optimisation of housing output within different types of location.

Policy H1 of the Local Plan: Part One (November 2012) gives general support to housing provision to meet and exceed the Council's minimum strategic dwelling requirement, where this can be achieved, in accordance with other Local Plan policies. The proposed development would result in a net gain of 4 dwellings on the application site which is a material consideration in favour of this development.

Unit Mix

The Council's current information on housing need indicates a substantial borough-wide requirement for larger affordable and private market units, particularly 3 bedroom properties. Applicants proposing residential schemes are required to demonstrate that this need has been taken into account in line with Policy DMH 2 of the Local Plan: Part 2 (2020) and Policy H10 of the Intend to Publish Version of the London Plan (2019). The proposal seeks to provide 2 x 2 bedroom houses and 2 x 3 bedroom houses. The proposed unit mix is considered appropriate within the context of the site.

7.02 Density of the proposed development

Policy 3.4 of the London Plan (2016) requires developments to take into account local context and character. For the purposes of the London Plan density matrix, it is considered that the site lies within a suburban area. The site has a PTAL rating of 0. The density matrix suggests a density of between 150 and 300 habitable rooms per hectare or 35 to 55 units per hectare.

The application proposal falls below the threshold set out within the density matrix, however given the sites designation, the proposed density is considered appropriate.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The application site lies within the Colne Valley Archaeological Priority Zone, the application site is not situated within a conservation area nor are there any listed buildings associated with the site.

Paragraph 189 of the NPPF says applicants should provide an archaeological assessment if their development could affect a heritage asset of archaeological interest. The planning application lies in an area of archaeological interest (Archaeological Priority Area) identified for the Local Plan: Heathrow Area.

Policy 7.8 of the London Plan (2016) expects new development should make provision for the protection of archaeological resources, landscapes and significant memorials. The physical assets should, where possible, be made available to the public on-site. Where the archaeological asset or memorial cannot be preserved or managed on-site, provision must be made for the investigation, understanding, recording, dissemination and archiving of that asset.

Policy DMHB 7 of the Local Plan: Part Two (2020) ensures that sites of archaeological interest within or, where appropriate, outside, designated areas are not disturbed. If that cannot be avoided, satisfactory measures must be taken to mitigate the impacts of the proposals through archaeological fieldwork to investigate and record remains in advance of development works. This should include proposals for the recording, archiving and reporting of any archaeological finds.

GLAAS has reviewed the application and considered the proposal with reference to information held in the Greater London Historic Environment Record and concluded that the proposal is unlikely to have a significant effect on heritage assets of archaeological interest. Although within the Colne Valley Archaeological Priority Zone the proposed development is too small-scale to be likely to cause harm and therefore no further assessment or condition is necessary.

7.04 Airport safeguarding

Not applicable to this application as there is no increase in height and the development is confined to the existing built footprint.

7.05 Impact on the green belt

Paragraph 133 of the National Planning Policy Framework (2019) states that the essential characteristics of Green Belts are their permanence and openness.

In terms of national policy, paragraph 146 of the NPPF states that Certain other forms of development are also not inappropriate in the Green Belt provided they preserve its openness and do not conflict with the purposes of including land within it. This includes the re-use of buildings provided that the buildings are of permanent and substantial construction.

Policy 7.16 of the London Plan (2016) the strongest protection should be given to London's Green Belt, in accordance with national guidance. Inappropriate development should be refused, except in very special circumstances. Development will be supported if it is appropriate and helps secure the objectives of improving the Green Belt as set out in national guidance.

Policy DMEI 4 of the Local Plan: Part Two (2020) states that extensions and redevelopment on sites in the Green Belt and Metropolitan Open Land will be permitted only where the proposal would not have a greater impact on the openness of the Green Belt and Metropolitan Open Land, and the purposes of including land within it, than the existing development, having regard to:

- i) the height and bulk of the existing building on the site;
- ii) the proportion of the site that is already developed;
- iii) the footprint, distribution and character of the existing buildings on the site;
- iv) the relationship of the proposal with any development on the site that is to be retained;
- and
- v) the visual amenity and character of the Green Belt and Metropolitan Open Land.

The proposed development would utilise an under used stable/ storage barn building of a substantial construction. The proposed development does not include any extensions to the property and alterations are limited to the insertion of additional windows to serve habitable rooms. The remaining alterations are limited to the internal aspect of the building. It is considered that the proposed alterations to the building are reasonably necessary to facilitate its use as dwellinghouses and are not so extensive to conflict with the objectives of Policy DMEI 4 of the Local Plan: Part Two (2020).

The curtilage defined on the location plan includes a single track, hardstanding, soft landscaping and a menage. It is proposed that, as part of the development, the hardstanding is utilised for car parking and the menage is removed and replaced with soft landscaping to form a private amenity gardens and the setting. The gardens are proposed to be enclosed by a low-level open post and rail fence. It is considered that the modifications to the curtilage would not represent any greater adverse impact to the openness of the Green Belt.

The proposed development does not include any open agricultural land. The building's current use relates to the keeping of horses. Activity associated with the building's use would likely involve relatively frequent comings and goings of people. As a result of the proposed development, the rate of commercial comings and goings, including deliveries, would inevitably decrease however the comings and goings of people generally may be subject to a marginal increase. The proportion of land used would remain the same. It is considered that the proposed new use of the building as a residential dwellings would not result in a harmful intensification of use over and above the existing situation. The proposal complies with Policy DMEI 4 of the Local Plan: Part Two (2020).

7.07 Impact on the character & appearance of the area

Policy 7.1 of the London Plan (2016) sets out a series of overarching design principles for development in London and Policy 7.6 (2016) seeks to promote world-class, high quality design and design-led change in key locations. In addition to Chapter 7 of the London Plan (2016) policies relating to density (3.4) and sustainable design and construction (5.3) are also relevant.

Policy BE1 of the Local Plan: Part 1 (November 2012) requires all new development to improve and maintain the quality of the built environment in order to create successful and sustainable neighbourhoods, where people enjoy living and working and that serve the long-term needs of all residents.

Policy DMHB 11 of the Local Plan: Part Two (2020) requires new developments to be designed to the highest standards and, incorporate principles of good design by

harmonising with the local context by taking into account scale, height, mass and bulk, building plot sizes and widths, plot coverage and established street patterns; building lines and setbacks, rooflines, streetscape rhythm.

The existing stable is an early 20th century structure arranged in a U-shape plan form. The western end of the southern range includes loose boxes for horses. The proposed layout is cohesive with all units accessed from a shared courtyard. The setting will benefit from the removal of the modern roofed section spanning the gap between the two arms of the barns, together with the manege.

Given the application site is within the Metropolitan Green Belt, the division between private amenity spaces needs to be as informal as possible in order to retain the sense of openness within the rural landscaped. As such, a condition is proposed to the decision requiring further detail off boundary treatments separating private amenity spaces or living area. It is also by way of a condition and to remove the permitted development rights to ensure additions or outbuildings are not added on an ad hoc basis so to preserve the openness of the Green Belt.

The Council's Conservation Officer was consulted on the proposals as it is considered that, whilst the building is not Listed nor within a Conservation Area, the building does retain some its original rural character. Amended plans were received during the course of the application which simplified the fenestration so as not to compete with, or undermine, the aesthetics of the building. Following a review of the amended plans, the Conservation Officer considered that the proposed amendments to the scheme were acceptable (In fact through revised plans all initial areas of concern were addressed).

Given the proposal is to convert an existing building of substantial construction, with alterations that are not considered to be extensive, it not considered that the proposed development would result in a form of new residential development which is deemed inappropriate for the area.

In summary, it is not considered that the proposed development would result in an adverse impact on the character or appearance of the building or area and the proposal would be acceptable in accordance with Policies DMHB 11 and DMHB 12 of the Local Plan: Part Two (2020).

7.08 Impact on neighbours

Policy DMHB 11 of the Local Plan: Part Two (2020) requires that development proposals should not adversely impact on the amenity, daylight and sunlight of adjacent properties and open space.

The proposed dwelling would utilise an existing building however this would be subject to additional glazing on all elevations.

The nearest dwellinghouse is situated 30m to the south of the site, given the relative distance between the application site and the neighbouring dwelling, the proposal would not impact the amenity of the neighbouring property and the development accords with DMHB 11 of the Local Plan: Part Two (2020).

7.09 Living conditions for future occupiers

The provision of good quality housing is a key aspect of the London Plan and Local Plan housing policies. Policy 3.5 of the London Plan (2016) requires the design of new housing developments to consider elements that enable the home to become a comfortable place of retreat. Policy DMHB 16 of the Local Plan: Part Two (2020) requires all housing

development to have adequate provision of internal space in order to provide an appropriate living environment.

Table 3.3 of The London Plan (2016) specifies minimum Gross Internal Areas (GIA) for residential units. Paragraph 3.36 of the London Plan specifies that these are minimum sizes and should be exceeded where possible.

Paragraph 5.40 within the Local Plan: Part Two (2020) states that the Council will expect new development proposals to carefully consider layout and massing in order to ensure development does not result in an increased sense of enclosure and loss of outlook. Single aspect dwellings should be avoided.

The proposal meets the minimum space standards set out in the London Plan (2016). Each unit would benefit from a dual aspect. Amenity buffers have been designed so there is a degree of separation between the windows serving the courtyard to mitigate against loss of privacy to the proposed units. Each unit is provided with generous amenity private amenity space which far exceeds the minimum standards. Overall, the development would deliver high quality new dwellinghouses and the proposal complies with Policy DMHB 16 and DMHB 18 of the Local Plan: Part Two (2020) and Policy 3.5 of the London Plan (2016)

7.10 Traffic impact, car/cycle parking, pedestrian safety

Paragraph 108 of the NPPF (2019) notes that in assessing sites that may be allocated for development in plans, or specific applications for development, it should be ensured that safe and suitable access to the site can be delivered for all users.

Policy 6.10 of the London Plan (2016) requires development proposals to ensure high quality pedestrian environments and emphasise the quality of the pedestrian and street space.

Policy DMT 2 of the Local Plan: Part Two (2020) notes development proposals must ensure that safe and efficient vehicular access to the highways network is provided to the Council's standards.

Policy DMT 6 of the Local Plan: Part Two (2020) sets maximum car parking standards. For a development of this type it is required that the quantum of car parking provided is determined 'on an individual basis using a transport assessment and a travel plan, and in addition provision for taxi and bus/coach access and parking.

In order to comply with the maximum parking standard there is a requirement for 1-1.5 on-plot spaces to be provided for the 2 bedroom unit with 2 spaces for the 3 bedroom dwelling. The applicant is proposing 2 spaces for each house which is above the maximum standard. However this is considered acceptable given the aforementioned very low PTAL rating which does not favour a lower overall quantum as dependency on private motor transport would be high in this location hence prompting the need for achieving a parking level toward or at the maximum standard.

A condition would secure car parking allocation and the provision of 1 active electric vehicle charging point and the provision of 3 passive spaces in line with the requirements set out in the Intend to Publish version of the London Plan (2019). 2 cycle parking spaces for each unit would also be secured by way of a condition.

The highways officer has considered trip generation and raised no objection to the proposal noting the proposal would produce a marginally elevated level of traffic generation from the

address however peak period traffic movement into and out of the site would not be expected to rise beyond 1-2 vehicle movements during the peak morning and evening hours. The uplift is considered marginal in generation terms and therefore can be absorbed within the local road network without notable detriment to traffic congestion and road safety.

The application has been reviewed by the Highway Authority who are satisfied that the proposal would not exacerbate congestion or parking stress, and would not raise any highway safety concerns, in accordance with Local Plan Part 2 Development Plan Policies DMT 1, DMT 2 and DMT 6 and Policies 6.3, 6.9, and 6.13 of the London Plan (2016).

7.11 Urban design, access and security

URBAN DESIGN

Urban Design is addressed in Section 7.07 of this report.

DESIGNING OUT CRIME

Policy 7.3 of the London Plan (2016) of the London Plan (2016) requires developments to reduce the opportunities for criminal behaviour and contribute to a sense of security without being overbearing or intimidating. A secured by design condition is attached to the decision to ensure the proposal provides a sense of security for future occupants.

7.12 Disabled access

Policy 3.1 of the London Plan (2016) requires development proposals to protect and enhance facilities and services that meet the needs of particular groups and communities.

Policy 7.2 of the London Plan (2016) requires design and access statements to be submitted with development proposals to explain how, following engagement with relevant user groups, the principles of inclusive design, including the specific disabled people, have been integrated into the proposed development, whether relevant best practice standards such as British Standard BS 8300:2009 + A1:2010 have been complied with, and how inclusion will be maintained and managed.

The access officer has commented on the application and noted that as only relatively minor works would be required to facilitate the development, the proposal provides level access to each unit and all units provide habitable accommodation at one level. The proposal is considered to be acceptable subject to the inclusion of a condition requiring all units to achieve M4(2) standards.

7.13 Provision of affordable & special needs housing

Policy H2 of the Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012) states that housing provision is expected to include a range of housing to meet the needs of all types of households and the Council will seek to maximise the delivery of affordable housing from all sites over the period of the Local Plan. For sites with a capacity of 10 or more units the Council will seek to ensure that the affordable housing mix reflects housing needs in the borough, particularly the need for larger family units. This is supported by Policy DMH 7 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020).

The proposal is for less than 10 residential units and does not meet the threshold in order to require affordable housing provision. As such, the proposal is not contrary to Policy H2 of the Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012) and Policy DMH 7 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020).

7.14 Trees, Landscaping and Ecology

Policy 3.5 of the London Plan (March 2016) requires that the design of all new housing developments should enhance the quality of local places, taking into account physical context; local character; density; tenure and land use mix; and relationships with, and provision of, public, communal and open spaces.

Policy 5.10 of the London Plan (March 2016) states that development proposals should integrate green infrastructure to contribute to urban greening, including the public realm.

Policy DMHB 14 of the Local Plan: Part Two (2020) notes all developments will be expected to retain or enhance the existing landscape, trees, biodiversity and natural features of merit. Planning applications for proposals that would affect existing trees will be required to provide an accurate tree survey showing the location, height, spread and species of trees.

The trees and landscaping officer has commented on this application and noted that no trees or other landscape features of merit will be affected by the proposal. The setting of the site would improve through the removal of the modern roofed section spanning the gap between the two arms of the barns, together with the manege. Hard and soft landscape details will be expected to respect rural character of the area and incorporate native planting into the boundaries. Details of hard and soft landscaping are proposed to be secured by way of a condition.

Ecology

Paragraph 170 of the NPPF (February 2019) states that planning decisions should contribute to and enhance the natural and local environment by: d) minimising impacts on and providing net gains for biodiversity, including by establishing coherent ecological networks that are more resilient to current and future pressures.

Policy 7.19 of the London Plan (March 2016) states that development proposals should wherever possible, make a positive contribution to the protection, enhancement, creation and management of biodiversity.

Policy DMEI 7 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020) states that the design and layout of new development should retain and enhance any existing features of biodiversity within the site.

The application is supported by a bat survey provides and an Ecological Assessment which has been considered to provide an acceptable mitigation strategy. A condition has been attached to the decision requiring a copy of the licence from Natural England pursuant to Regulation 53 of The Conservation of Habitats and Species Regulations 2017 authorising the development to go ahead. A condition will therefore be included with any planning permission for the development to be carried out in accordance with the mitigation / compensation methods outlined in the submitted report.

7.15 Sustainable waste management

Policy 5.17 'Waste Capacity' of the London Plan (2016) sets out the Mayor's spatial policy for waste management, including the requirements for new developments to provide appropriate facilities for the storage of refuse and recycling. No details have been provided regarding waste collection points however it is considered that arrangements would be the same as for the existing dwelling at Primrose Cottage. A planning condition would be added to any consent outlining the responsibility and arrangements for the movements of

refuse/recycling bins to and from the collection points on collection days to ensure that the bins are not left at the end of the access.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

Not applicable to this application as the proposal seeks to convert the footprint of the existing building.

7.18 Noise or Air Quality Issues

Not applicable to this application.

7.19 Comments on Public Consultations

Comments received have been addressed within the main body of the report.

7.20 Planning Obligations

Not applicable to this application.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

No other issues identified.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable.

10. CONCLUSION

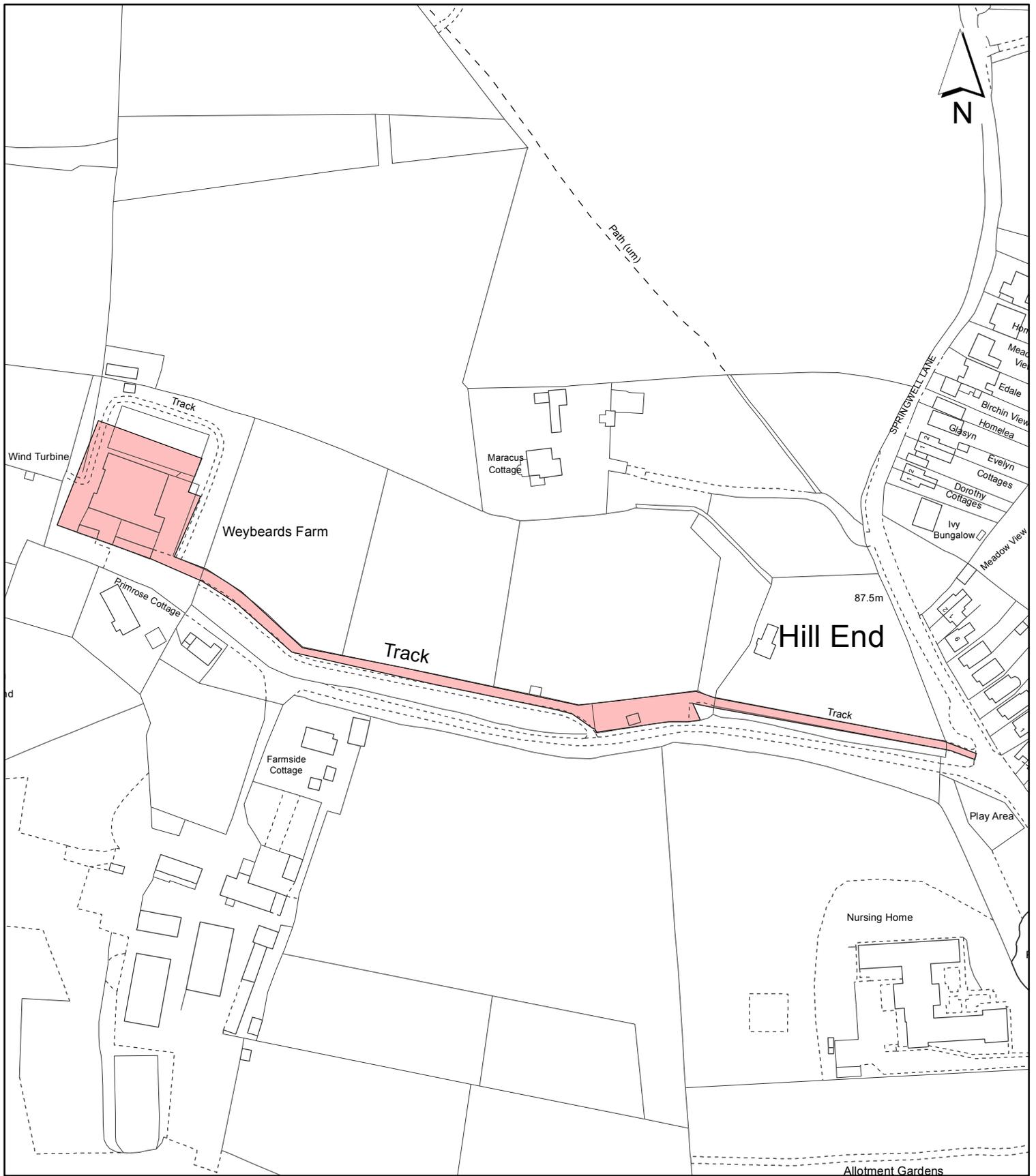
The proposal seeks to convert the existing barn to provide 4 dwellinghouses. The proposal is considered to be acceptable in regards to the impact of the Green Belt. The development would provide high quality living accommodation for future occupants and would not have an impact on the residential amenity of neighbouring properties. The setting of the site would improve through the removal of the infill element and the manege. Furthermore, it is also recognised that the grant of planning permission would bring forward a viable use which would in turn enhance the building's appearance. The development is considered to comply with relevant local, London Plan and national planning policies and guidance and, accordingly, approval is recommended.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Development Management Policies (January 2020)
The London Plan (2016)
The Housing Standards Minor Alterations to The London Plan (March 2016)
Mayor of London's adopted Supplementary Planning Guidance - Housing (March 2016)
Technical Housing Standards - Nationally Described Space Standard
Hillingdon Design and Accessibility Statement: Accessible Hillingdon
National Planning Policy Framework

Contact Officer: Zenab Haji-Ismail

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

**Weybeards Farm, Primrose Cottage
 Hill End Road**

Planning Application Ref:

72546/APP/2019/3837

Planning Committee:

North Page 124

Scale:

1:2,250

Date:

June 2020

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111



HILLINGDON
 LONDON

Report of the Head of Planning, Transportation and Regeneration

Address LONG LANE FARM LONG LANE ICKENHAM

Development: Proposal to remove 6 x existing antenna from an existing telecommunications site and replace with 12 x new antenna and add all ancillary works and to upgrade existing cabins internally.

LBH Ref Nos: 14951/APP/2020/1449

Drawing Nos: P/01837/GEN/102 Rev. B Existing Site Plan
P/01837/GEN/103 Rev. C Proposed Site Plan
P/01837/GEN/104 Rev. B Existing Site Elevator
P/01837/GEN/105 Rev. C Proposed Site Elevator
P/01837/GEN/106 Rev. C Antenna Plan
P/01837/GEN/107 Rev. C Antenna Line Key (H3G Demise Plan
Site Block Plan
OLO 110570 TEF 1837 Supplementary Information
OLO 110570/TEF 1837/MBNL HGN062 (98263) Declaration of Conformity with ICNIRP Public Exposure Guidelines
TEF 1837/OLO 110570/MBNL HGN062 (98263) Covering Letter
OLO 110570 TEF 1837 Developer Notice
Agent's Email 18.5.20
P/01837/GEN/108 Rev. B Antenna Line Key (EE)
P/01837/GEN/101 Rev. B Site Location Plans
Location Plan

Date Plans Received: 06/05/2020 **Date(s) of Amendment(s):** 07/05/2020
Date Application Valid: 07/05/2020 25/05/2020

1. SUMMARY

The application seeks planning permission to remove 6 x existing antenna from an existing telecommunications site and replace with 12 x new antenna with ancillary works and to upgrade existing cabins internally. The purpose is to upgrade the existing multi user telecommunication site to provide the surrounding area with the latest 5G technology.

Given the siting and the character of the surrounding area, the harm would be limited due because it would only ever be seen in the context of an existing lattice tower. The benefits of upgrading an existing site and the coverage shared by two operators outweighs the limited visual harm therefore the proposal is considered acceptable.

The proposed development is considered to comply with Policy DMHB 11 and DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020) and the National Planning Policy Framework (2019) and accordingly this application is recommended for Approval.

2. RECOMMENDATION

APPROVAL subject to the following:

1 COM3 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers

Location Plan

Demise Plan

Site Block Plan

P/01837/GEN/101 Rev. B Site Location Plans

P/01837/GEN/103 Rev. C Proposed Site Plan

P/01837/GEN/105 Rev. C Proposed Site Elevation

P/01837/GEN/106 Rev. C Antenna Plan

P/01837/GEN/107 Rev. C Antenna Line Key (H3G)

P/01837/GEN/108 Rev. B Antenna Line Key (EE)

and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions Hillingdon Local Plan Parts 1 (November 2012) and 2 (January 2020) and the London Plan (2016).

3 COM5 General compliance with supporting documentation

The development hereby permitted shall not be occupied until the following has been completed in accordance with the specified supporting plans and/or documents:

OLO 110570/TEF 1837/MBNL HGN062 (98263) [Document]

OLO 110570 TEF 1837 Supplementary Information [Report]

Thereafter the development shall be retained in accordance with these details for as long as the development remains in existence

REASON

To ensure the development complies with the provisions Hillingdon Local Plan Parts 1 (November 2012) and 2 (January 2020) and the London Plan (2016).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies

and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

DMHB 11	Design of New Development
DMHB 21	Telecommunications
DMHB 14	Trees and Landscaping
DMT 2	Highways Impacts
DMAV 1	Safe Operation of Airports
NPPF- 10	NPPF-10 2018 - Supporting high quality communications
DMEI 4	Development on the Green Belt or Metropolitan Open Land
NPPF- 13	NPPF-13 2018 - Protecting Green Belt land

3 170 LBH worked applicant in a positive & proactive (Granting)

In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from Local Plan Part 1, Local Plan Part 2, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service, in order to ensure that the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

3. CONSIDERATIONS

3.1 Site and Locality

The applicant site is located east of the junction of Gilbey Close and Long Lane with access via a private road. The property is 124 metres south-west of Ickenham Manor. Long Lane Farm comprises of an area of approximately 1.32 hectares of developed land and the application site is located towards the rear of the premise. From the aerial view, the site consists of several large buildings with landscaping along the site boundary.

The application site comprises a fenced compound with a 25 metre high lattice tower with a triangular headframe and 9 x cabinets (of which 2 are redundant). There are 3 access doors to the east. Directly west of the compound is open grassland and the nearest neighbours are 230 metres away. The compound is only accessible through the existing farm premise.

The site is located within the Metropolitan Green Belt and the Ickenham Manor Archaeological Priority Areas.

3.2 Proposed Scheme

This application seeks planning permission to remove 6 x existing antenna from an existing telecommunications site and the installation of 12 x new antenna and with ancillary works and to upgrade existing cabins internally. This proposal seeks to upgrade the EE Limited and H3G Limited telecommunication equipment on currently on site.

Details of proposal:

- 6 x antennas to be removed

- Installation of 12 x antennas on new 3.5m support pole fixed to existing headframe
- Installation of 12 x MHAs
- Installation of 24 x RRUs and 2 x BOB to be fixed on new support pole rear of antennas
- Installation of 18 x feeders for antennas
- Installation of cabinets, BOBS and multi-plexor within the existing equipment cabinet

The existing size of the fenced compound is approximately 26 metres deep x 8 metres wide x 1.8 metres high and comprises of a shared telecommunications mast that is 25 metres in height with a triangular headframe. The existing overall height of the lattice tower is 27 metres and the proposal will result in an increase height to 28.3 metres.

3.3 Relevant Planning History

14951/A/96/0583 Long Lane Farm Long Lane Ickenham
Erection of a radio base station and 17.5 metre high steel lattice mast

Decision: 09-08-1996 Refused

14951/APP/1999/2535 Long Lane Farm Long Lane Ickenham
INSTALLATION OF ONE MALCOE EQUIPMENT CABIN AND REPLACEMENT OF 3 EXISTING ANTENNAS (CONSULTATION UNDER SCHEDULE 2, PART 24 OF THE TOWN AND COUNTRY PLANNING (GENERAL PERMITTED DEVELOPMENT) ORDER 1999)(AS AMENDED)

Decision: 22-03-2000 PRN

14951/APP/2001/1666 Long Lane Farm Long Lane Ickenham
INSTALLATION OF TWO AIR CONDITIONING UNITS ATTACHED TO EXISTING EQUIPMENT CABIN (CONSULTATION UNDER SCHEDULE 2, PART 24 OF THE TOWN AND COUNTRY PLANNING (GENERAL PERMITTED DEVELOPMENT) ORDER 1995)(AS AMENDED)

Decision: 30-08-2001 PRN

14951/APP/2001/2206 Long Lane Farm Long Lane Ickenham
INSTALLATION OF A MINI-EQUIPMENT CABIN AND SIX ANTENNAS (CONSULTATION UNDER SCHEDULE 2, PART 24 OF THE TOWN AND COUNTRY PLANNING (GENERAL PERMITTED DEVELOPMENT) ORDER 1995)(AS AMENDED)

Decision: 08-11-2001 PRN

14951/APP/2002/1413 Long Lane Farm Long Lane Ickenham
ERECTION OF A TEMPORARY 20 METRE TELECOMMUNICATIONS MAST WITH 3 SECTOR ANTENNAS, 3 MICROWAVE DISHES WITH ASSOCIATED EQUIPMENT CABINETS WITHIN A FENCED COMPOUND FOR A PERIOD OF TWELVE MONTHS

Decision: 25-09-2002 Approved

14951/APP/2002/398 Long Lane Farm Long Lane Ickenham
ENLARGEMENT OF EXISTING HEAD FRAME TO SUPPORT SIX NEW ANTENNAS AND FOUR NEW 0.6 METRE DISH ANTENNAS (CONSULTATION UNDER SCHEDULE 2, PART 24 OF T

TOWN AND COUNTRY PLANNING (GENERAL PERMITTED DEVELOPMENT) ORDER
1995)(AS AMENDED)

Decision: 27-03-2002 PRN

14951/C/97/0093 Long Lane Farm Long Lane Ickenham

Erection of a 15 metre high lattice radio tower (Consultation under Schedule 2, Part 24 of the Town and Country Planning (General Permitted Development) Order 1995)

Decision: 28-02-1997 PRQ

14951/D/98/2062 Long Lane Farm Long Lane Ickenham

Replacement of a 15 metre high steel lattice telecommunications tower with one 25 metre high steel lattice tower complete with three cross-polar antennas, two dish antennas and one radio equipment housing (existing 3 dual polar antennas and 300mm dish to be relocated to new tower)

Decision: 03-03-1999 Approved

Comment on Relevant Planning History

A planning permission under planning reference 14951/APP/2002/1413 was granted on 08-10-02 for the erection of a temporary 20 metre telecommunications mast with 3 sector antennas, 3 microwave dishes with associated equipment cabinets within a fenced compound for a period of twelve months.

A Prior Approval application under planning reference 14951/APP/2002/398 was determined as not required on 27-03-02 for the enlargement of existing head frame to support six new antennas and four new 0.6 metre dish antennas.

A Prior Approval application under planning reference 14951/APP/2001/2206 was determined as not required on 15-11-01 for the installation of a mini-equipment cabin and 6 antennas.

A Prior Approval application under planning reference 14951/APP/2001/1666 was determined as not required on 11-09-01 for the installation of two air conditioning units attached to existing equipment cabin.

A Prior Approval application under planning reference 14951/APP/1999/2535 was determined as not required on 07-04-00 for the installation of one malcoe equipment cabin and replacement of 3 existing antennas.

A planning permission under planning reference 14951/D/98/2062 was granted on 03-03-99 for the replacement of a 15 metre high steel lattice telecommunications tower with one 25 metre high steel lattice tower complete with three cross-polar antennas, two dish antennas and on radio equipment housing.

A Prior Approval application under planning reference 14951/C/97/0093 was granted on 28-02-97 for the erection of a 15 metre high lattice radio tower

A planning permission under planning reference 14951/A/96/0583 was refused on 09-08-96 for the erection of a radio base station and 17.5 metre high steel lattice mast.

4. Planning Policies and Standards

London Borough of Hillingdon Development Plan (from 6th April 2020)

Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

The Development Plan for the London Borough of Hillingdon currently consists of the following documents:

The Local Plan: Part 1 - Strategic Policies (2012)
The Local Plan: Part 2 - Development Management Policies (2020)
The Local Plan: Part 2 - Site Allocations and Designations (2020)
West London Waste Plan (2015)
The London Plan - Consolidated With Alterations (2016)

The National Planning Policy Framework (NPPF) (2019) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.

Emerging Planning Policies

Paragraph 48 of the National Planning Policy Framework (NPPF) 2019 states that 'Local Planning Authorities may give weight to relevant policies in emerging plans according to:

- (a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);
- (b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
- (c) the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

Draft London Plan (Intend to Publish Version, December 2019)

The GLA consulted upon a draft new London Plan between December 2017 and March 2018 with the intention of replacing the previous versions of the existing London Plan. The Plan was subject to examination hearings from February to May 2019, and a Consolidated Draft Plan with amendments was published in July 2019. The Panel of Inspectors appointed by the Secretary of State issued their report and recommendations to the Mayor on 8th October 2019.

The Mayor has considered the Inspectors' recommendations and, on 9th December 2019, issued to the Secretary of State his intention to publish the London Plan along with a statement of reasons for the Inspectors' recommendations that the Mayor did not wish to accept. The Secretary of State responded on the 13th March 2020 and stated that he was exercising his powers under section 337 of the Greater London Authority Act 1999 to direct that modifications are required. These are set out at Annex 1 of the response, however the letter does also state that if the Mayor can suggest alternative changes to policies that would address the concerns raised, these would also be considered.

More limited weight should be attached to draft London Plan policies where the Secretary

of State has directed modifications or where they relate to concerns raised within the letter. Greater weight may be attached to policies that are not subject to modifications from the Secretary of State or that do not relate to issues raised in the letter.

UDP / LDF Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMHB 11 Design of New Development

DMHB 21 Telecommunications

DMHB 14 Trees and Landscaping

DMT 2 Highways Impacts

DMAV 1 Safe Operation of Airports

NPPF- 10 NPPF-10 2018 - Supporting high quality communications

DMEI 4 Development on the Green Belt or Metropolitan Open Land

NPPF- 13 NPPF-13 2018 - Protecting Green Belt land

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

A total of 42 neighbouring owners/occupiers and the Ickenham Residents Association were consulted. No comments were received.

NATS:

The proposed development has been examined from a technical safeguarding aspect and does not conflict with our safeguarding criteria. Accordingly, NATS (En Route) Public Limited Company ("NERL") has no safeguarding objection to the proposal.

However, please be aware that this response applies specifically to the above consultation and only reflects the position of NATS (that is responsible for the management of en route air traffic) based on the information supplied at the time of this application. This letter does not provide any indication of the position of any other party, whether they be an airport, airspace user or otherwise. It remains your responsibility to ensure that all the appropriate consultees are properly consulted.

If any changes are proposed to the information supplied to NATS in regard to this application which become the basis of a revised, amended or further application for approval, then as a statutory consultee NERL requires that it be further consulted on any such changes prior to any planning permission or any consent being granted.

MOD SAFEGUARDING - RAF NORTHOLT:

Thank you for consulting the Ministry of Defence (MOD) on the above proposed development which was received by this office on 14th May 2020.

The application site resides in the statutory safeguarding zones surrounding RAF Northolt. In particular, the aerodrome height, technical and birdstrike safeguarding zones surrounding the aerodrome and lies approximately 1.6km from the centre of the airfield.

I can confirm the MOD has no safeguarding objections to this proposal. I trust this is clear however should you have any questions please do not hesitate to contact me.

Internal Consultees

None.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The NPPF stresses the importance of advance, high quality and reliable communications infrastructure is essential for economic growth and social well-being. The number of radio and electronic communications masts, and the sites for such installations, should be kept to a minimum consistent with the needs of consumers, the efficient operation of the network and providing reasonable capacity for future expansion.

The application has been assessed principally against the National Planning Policy Framework (NPPF) and Policy DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020).

Policy DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020) states that telecommunications developments will be acceptable in principle provided that any apparatus is sited and designed so as to minimise its effect on the appearance of the surrounding areas. The local planning authority will only grant permission for structures where:

- i) it is sited and designed to minimise their visual impact;
- ii) it does not have a detrimental effect on the visual amenity, character or appearance of the building or the local area;
- iii) it has been demonstrated that there is no possibility for use of alternative sites, mast sharing and the use of existing buildings;
- v) there is no adverse impact on areas of ecological interest, areas of landscape importance, archaeological sites, Conservation Areas or buildings of architectural or historic interest; and
- vi) it includes a Declaration of Conformity with the International Commission on Non Ionizing Radiation.

The aim of the proposal is to upgrade the telecommunication equipment for both EE Limited and H3G Limited, to the surrounding area with the latest 5G technology. Government guidance encourages the sharing of sites between operators and the use of existing site. It is clear from this NPPF guidance that existing buildings and structures should always be considered first. A signed Declaration of Conformity with the ICNIRP has been included in the submission.

7.02 Density of the proposed development

Not applicable to the consideration of this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The site is located within the Ickenham Manor Archaeological Priority Areas, however the proposal relates to the installation of telecommunication equipment on an existing lattice

tower and equipment cabinets located within a fenced compound on developed land, therefore it would unlikely impact any archaeology within the surrounding site.

7.04 Airport safeguarding

Policy DMAV 1 of The Local Plan: Part 2 - Development Management Policies (2020) states that proposals that may be hazard to aircraft safety will not be permitted.

The application site is 0.84 kilometres from Northolt Aerodrome. MOD - RAF Northolt and NATS were consulted, no objections were raised. As such, the proposal is considered in accord with DMAV 1 of The Local Plan: Part 2 - Development Management Policies (2020)

7.05 Impact on the green belt

Paragraph 133 of the National Planning Policy Framework (2019) states that the essential characteristics of Green Belts are their permanence and openness.

In terms of national policy, paragraph 146 of the NPPF states that Certain other forms of development are also not inappropriate in the Green Belt provided they preserve its openness and do not conflict with the purposes of including land within it. This includes the re-use of buildings provided that the buildings are of permanent and substantial construction.

Policy 7.16 of the London Plan (2016) the strongest protection should be given to London's Green Belt, in accordance with national guidance. Inappropriate development should be refused, except in very special circumstances. Development will be supported if it is appropriate and helps secure the objectives of improving the Green Belt as set out in national guidance.

Policy DMEI 4 of the Local Plan: Part Two (2020) states that extensions and redevelopment on sites in the Green Belt and Metropolitan Open Land will be permitted only where the proposal would not have a greater impact on the openness of the Green Belt and Metropolitan Open Land, and the purposes of including land within it, than the existing development, having regard to:

- i) the height and bulk of the existing building on the site;
- ii) the proportion of the site that is already developed;
- iii) the footprint, distribution and character of the existing buildings on the site;
- iv) the relationship of the proposal with any development on the site that is to be retained;
- and
- v) the visual amenity and character of the Green Belt and Metropolitan Open Land.

The application site is located within the Metropolitan Green Belt however much of the the work proposed would not add to the bulk and footprint of the existing equipment. The replacement telecommunication antennas are to be located on the existing lattice tower and would only ever be viewed in the context of the existing lattice tower.

Given the nature of the proposal, the development would not constitute as an inappropriate development within the Green Belt as the proposal seeks to make use of an existing structure to provide as there are no new buildings or structures proposed, the proposal would not further compromise the openness of the Metropolitan Green Belt. As such, the proposal is in accord with Policy DMEI 4 of The Local Plan: Part 2 - Development Management Policies (2020).

7.06 Environmental Impact

Not applicable to the consideration of this application.

7.07 Impact on the character & appearance of the area

Policy DMHB 11 of The Local Plan: Part 2 - Development Management Policies (2020) seeks to ensure all development to harmonise with the local context by harmonising with the local context by taking into account the surrounding; scale of development, considering the height, mass and bulk of adjacent structures; local topography, views both from and to the site; and impact on neighbouring open spaces and their environment.

Policy DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020) states that Telecommunication development will only be permitted where:

- i) it is sited and designed to minimise their visual impact; and
- ii) it does not have a detrimental effect on the visual amenity, character or appearance of the building or the local area.

The proposed new antennas is to be fixed onto the existing triangular head frame at the top of the lattice tower. The proposal will result in a slight increase in height by 1.3m. The overall height of the tower would be 28.3m. Given its siting surrounded open grass land, the modest increase in height by the proposal would not impact the character and appearance of the area as the proposal would only ever be viewed in the context of the existing lattice tower. Furthermore, due to its isolated location and landscaping around the perimeter of the site, visual impact would be limited from adjacent residential streets. The associated cabinets required would make use of the larger structure located north of the lattice tower currently on site. No new equipment would be installed at ground level as part of this application.

It is noted that the proposal is an existing site and the proposed equipment will be shared by two operators which is a material consideration that weighs in favour of the development. As such, the proposal would comply with Policies DMHB 11 and DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020).

7.08 Impact on neighbours

Policy DMHB 11 of The Local Plan: Part 2 - Development Management Policies (2020) seeks to ensure that developments do not adversely impact on the amenity of adjacent properties, and seeks to protect outlook for residents, defined as the visual amenity enjoyed by occupants when looking out of their windows.

The nearest neighbour is 230m away from the site, separated by grassland and landscaping along the application site boundary. Due to the relative distances between the application site and neighbouring properties, it is unlikely that the proposal will impact on the amenity of adjacent properties.

7.09 Living conditions for future occupiers

Not applicable to the consideration of this application.

7.10 Traffic impact, car/cycle parking, pedestrian safety

Not applicable to the consideration of this application. The proposed site is located within private land near the rear of the site therefore would not impact on the traffic, parking or pedestrian safety.

7.11 Urban design, access and security

Refer to Section 07.7 of the report.

7.12 Disabled access

Not applicable to the consideration of this application.

7.13 Provision of affordable & special needs housing

Not applicable to the consideration of this application.

7.14 Trees, Landscaping and Ecology

Policy DMHB 14 of the Local Plan: Part Two (2020) notes all developments will be expected to retain or enhance the existing landscape, trees, biodiversity and natural features of merit. Planning applications for proposals that would affect existing trees will be required to provide an accurate tree survey showing the location, height, spread and species of trees.

The application site does not have any TPOs on site or trees that could be impacted by the proposal in close proximity to the site. The proposal does not result in an increase in built footprint and it makes use of existing structures already present on site. The proposal would not impact trees or landscaping features of merit and as such the proposal complies with Policy DMHB 14 of the Local Plan: Part Two (2020).

7.15 Sustainable waste management

Not applicable to the consideration of this application.

7.16 Renewable energy / Sustainability

Not applicable to the consideration of this application.

7.17 Flooding or Drainage Issues

Not applicable to the consideration of this application.

7.18 Noise or Air Quality Issues

Not applicable to the consideration of this application.

7.19 Comments on Public Consultations

Please see the external consultees section of the report.

7.20 Planning Obligations

None.

7.21 Expediency of enforcement action

None.

7.22 Other Issues

HEALTH:

In terms of potential health concerns, the applicant has confirmed that the proposed installation complies with the ICNIRP (International Commissions for Non Ionising Radiation Protection) guidelines. Accordingly, in terms of Government policy advice, there is not considered to be any direct health impact. Therefore, further detailed technical information about the proposed installation is not considered relevant to the Council's determination of this application.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable

10. CONCLUSION

In conclusion, this application seeks planning permission for the removal of 6 x existing antenna from a lattice tower and replacement with 12 x new antenna with ancillary works and to upgrade existing cabins. The proposal would deliver high quality telecommunication equipment which is a material consideration in support of the development. The proposal would make use of existing equipment and it is therefore not considered an inappropriate development within the Green Belt. The proposal would result in a very modest increase to

the overall height of the tower and any new equipment would only ever be seen in the context of the tower and it would therefore not result in harm to the openness of the Green Belt. It's design is appropriate within the site's context and the proposal would not result in harm to the amenities of nearby properties. For the reasons set out within this report, this application is recommended for Approval.

11. Reference Documents

The Local Plan: Part 1 - Strategic Policies (2012)
The Local Plan: Part 2 - Development Management Policies (2020)
The London Plan - Consolidated With Alterations (2016)
Draft London Plan (Intend to Publish Version, December 2019)
National Planning Policy Framework (2019)

Contact Officer: Rebecca Lo

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

**Long Lane Farm Long Lane
 Ickenham**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

14951/APP/2020/1449

Scale:

1:1,250

Planning Committee:

North Page 138

Date:

June 2020



HILLINGDON
 LONDON

STRICTLY NOT FOR PUBLICATION

Exempt information by virtue of paragraph(s) 1, 6a, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972 (as amended).

Agenda Item 14

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Exempt information by virtue of paragraph(s) 1, 6a, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972 (as amended).

Agenda Item 15

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Exempt information by virtue of paragraph(s) 1, 6a, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972 (as amended).

Agenda Item 16

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Exempt information by virtue of paragraph(s) 1, 6a, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972 (as amended).

Agenda Item 17

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Plans for North Applications Planning Committee

Wednesday 17th June
2020



HILLINGDON
LONDON

Report of the Head of Planning, Transportation and Regeneration

Address 5 & 6 FIRS WALK NORTHWOOD

Development: Erection of 3 x 4-bed dwellings with associated parking and amenity space and installation of vehicular crossover (involving demolition of 5 Firs Walk (Outline Planning Application with Some Matters Reserved)

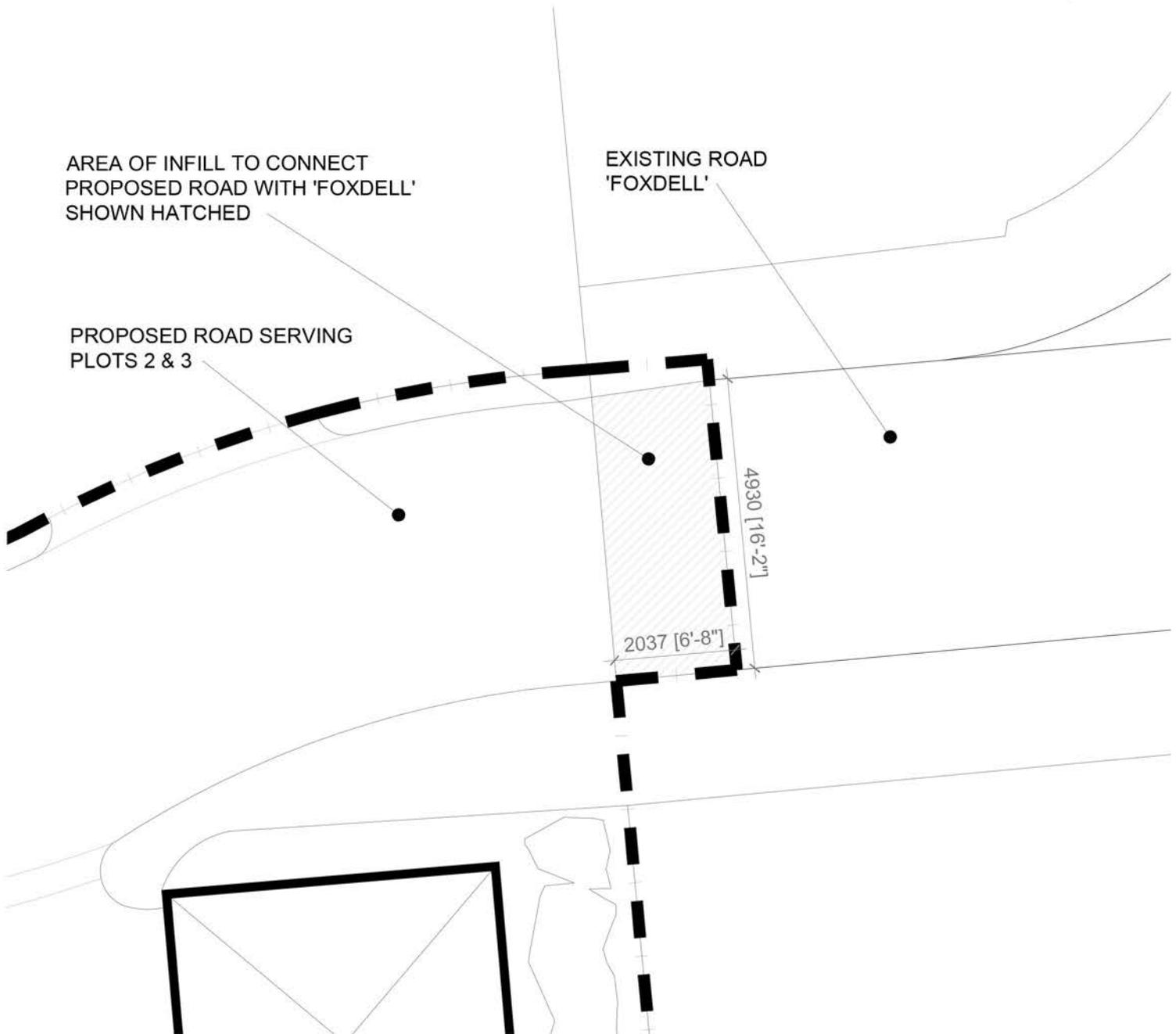
LBH Ref Nos: 30837/APP/2019/3096

Date Plans Received:	18/09/2019	Date(s) of Amendment(s):	22/10/2019
Date Application Valid:	10/10/2019		10/10/2019
			31/01/2020

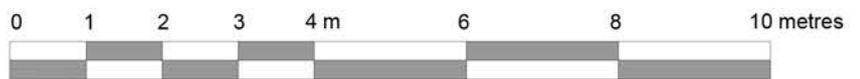


OUTLINE APPLICATION	
 ASCOT DESIGN Timeless architecture <small>10000 Highway 100, Suite 100, North Charleston, SC 29505 Tel: (843) 297-2020 Fax: (843) 297-2021 Email: info@ascotdesign.com www.ascotdesign.com</small>	
GAVACAN HOMES	
5 & 6 FIRS WALK, NORTHWOOD	
Site Location Plan	
1:250 @ A1	SEP '19 SC
19-2752-LP01	A





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SCALE 1:100

ASCOT DESIGN
Timeless architecture

Ascot Design Ltd,
Berkshire House
39-51 High Street,
Ascot,
Berkshire,
SL5 7HY
Tel: 01344 299330
Fax: 01344 299331
Email: info@ascotdesign.com
www.ascotdesign.com

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Outline
OUTLINE APPLICATION

Client
GAVACAN HOMES

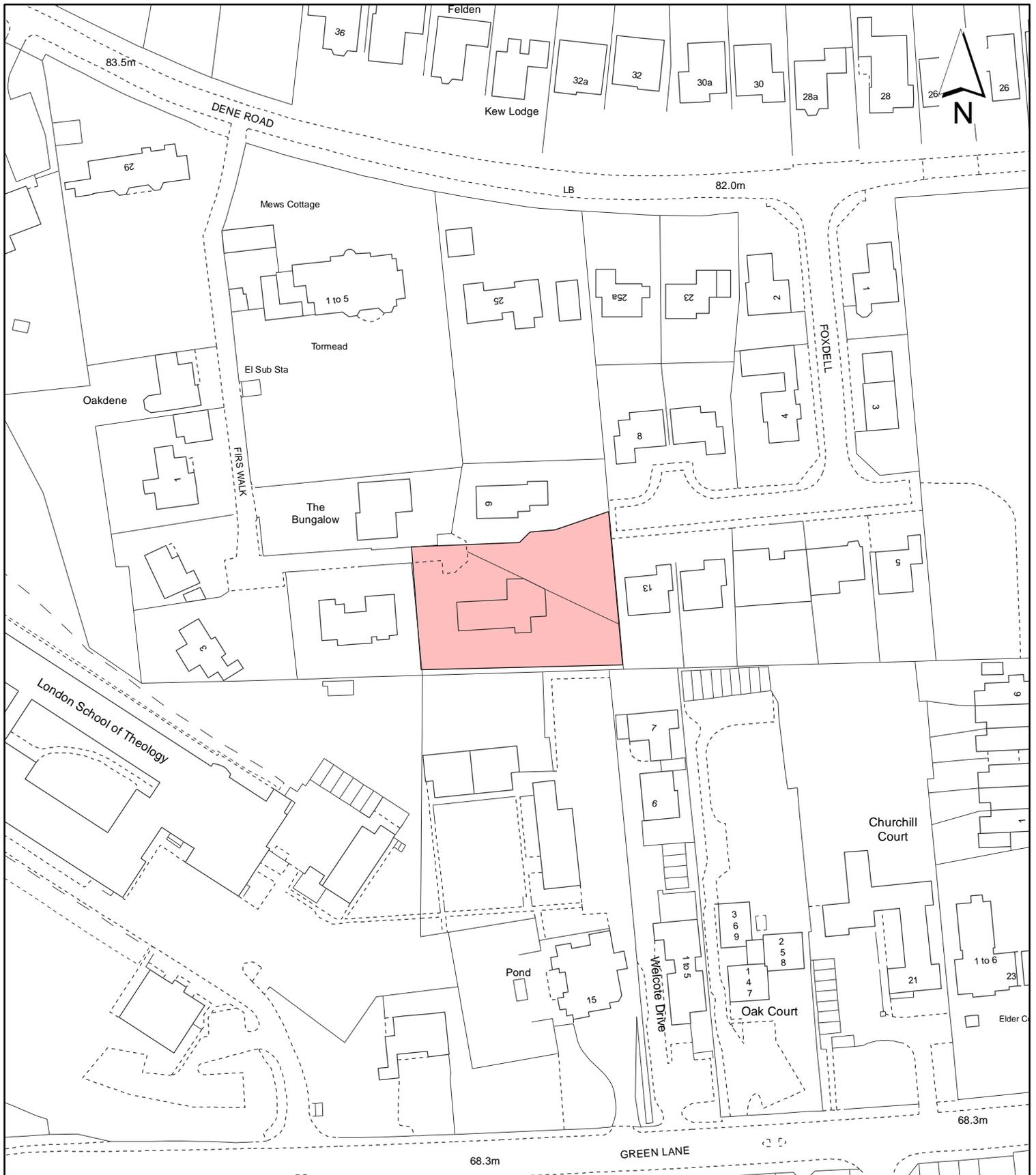
Project Title
5 & 6 FINE GLEN, NORTHWOOD

Rev. **A** Date **06.01.20** Desc. **Drawing notes amended**

DRAWING TITLE
DETAILS & MEASUREMENTS OF CROSS-OVER

Scale **1:100 @ A4** Date **OCT 19** Drawn **EB**

DRAWING No. **19-2752-03** Rev. **A**



Notes:

 Site boundary

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Site Address:

**5 & 6 Firs Walk
 Northwood**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:
30837/APP/2019/3096

Scale:
1:1,250

Planning Committee:
North Page 182

Date:
June 2020



Report of the Head of Planning, Transportation and Regeneration

Address 15 KEWFERRY ROAD NORTHWOOD
Development: Retrospective application for a single storey rear extension and front boundary wall and gates
LBH Ref Nos: 26090/APP/2020/300

Date Plans Received:	29/01/2020	Date(s) of Amendment(s):	29/01/2020
Date Application Valid:	18/02/2020		06/05/2020
			14/02/2020
			19/02/2020

15 Kewferry Road, Northwood, HA6 2NS

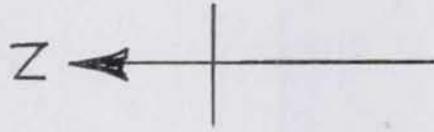
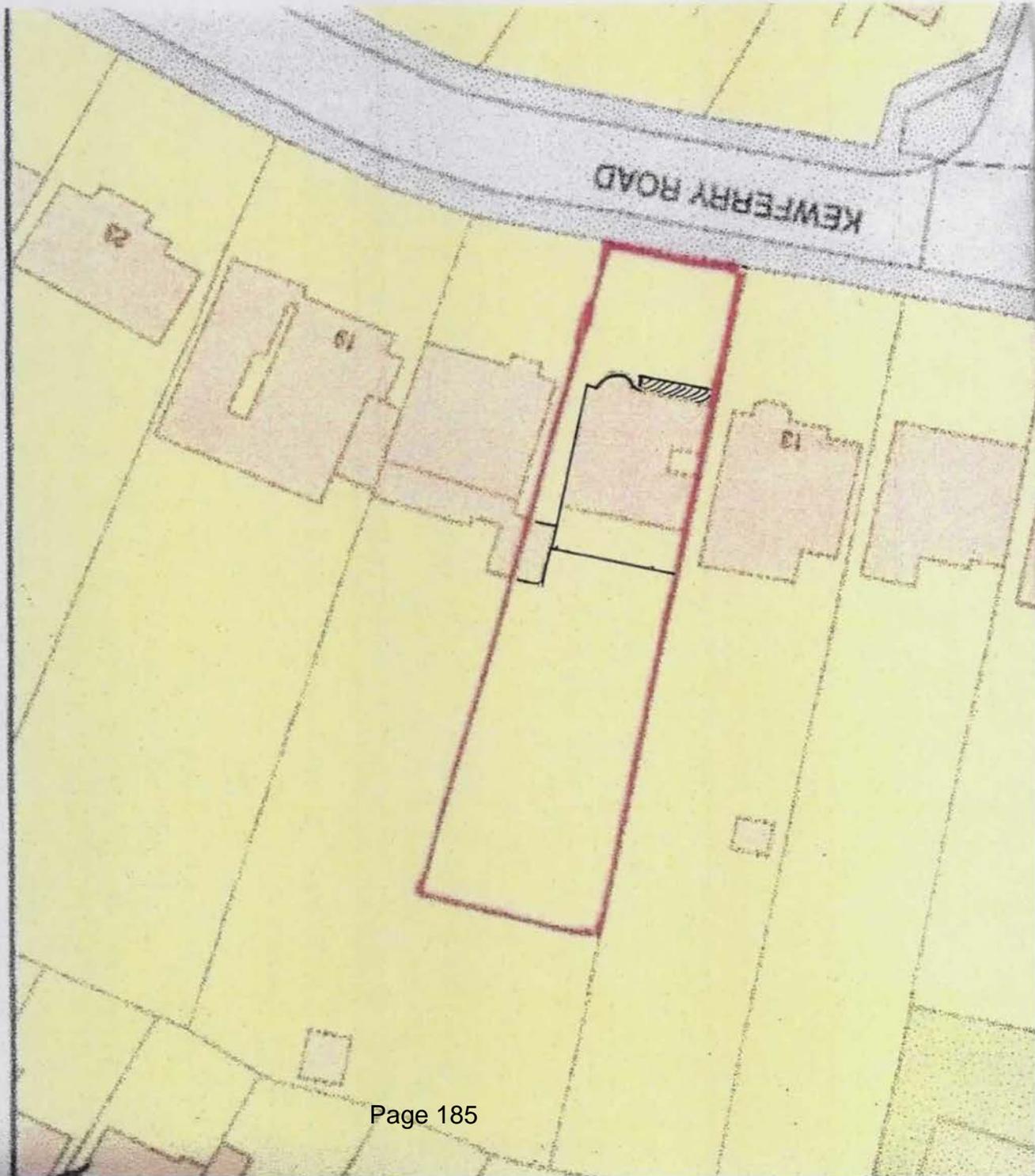


Site Plan shows area bounded by: 508291.54, 191769.81 508432.76, 191911.24 (at a scale of 1:1250) The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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15 Kewferry Road, Northwood, HA6 2NS



BLOCK PLAN

SCALE 1:500

GENERAL: TO BE CHECKED OUT BY LOCAL AUTHORITY APPROVAL MADE BY ACCORDANCE WITH THE CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE AND ANY DISCREPANCIES CONTRACTOR IS RESPONSIBLE FOR SETTING OUT THE WORKS. CONTRACTOR TO BE RESPONSIBLE FOR CHECKING OUT THE WORKS TO BE DONE AND NOTIFYING THE CLIENT OF ANY DISCREPANCIES. DIMENSIONS PROVIDED FOR THE PURPOSES OF OBTAINING BUILDING REGULATIONS APPROVAL. DIMENSIONS MAY BE CORRECTED BY ANY THIRD PARTY WITHOUT PERMISSION FROM BENJAMIN ASSOCIATES LTD.

Foundations: concrete pile foundations to 600mm diameter, max 1.2m penetration. Foundations to be installed in accordance with BS 5911 and BS 5912. Foundations to be installed in accordance with BS 5911 and BS 5912. Foundations to be installed in accordance with BS 5911 and BS 5912. Foundations to be installed in accordance with BS 5911 and BS 5912.

Roofing: All roofed areas above ground level to be pitched at 12.5 degrees to the horizontal. All roofed areas above ground level to be pitched at 12.5 degrees to the horizontal. All roofed areas above ground level to be pitched at 12.5 degrees to the horizontal. All roofed areas above ground level to be pitched at 12.5 degrees to the horizontal.

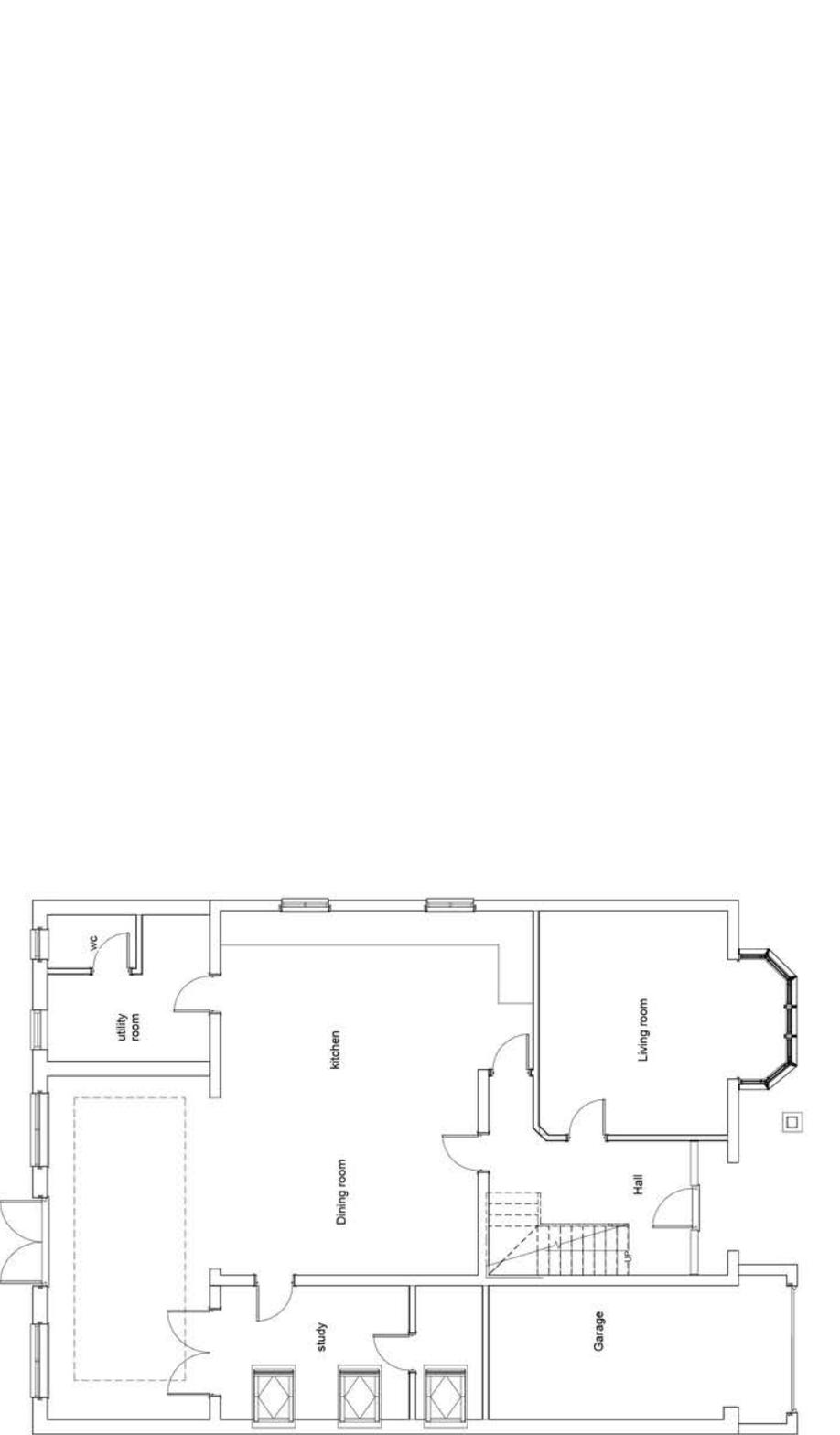
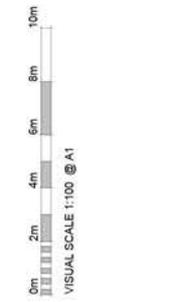
Windows: All windows to be installed in accordance with BS 6899. All windows to be installed in accordance with BS 6899. All windows to be installed in accordance with BS 6899. All windows to be installed in accordance with BS 6899.

Doors: All doors to be installed in accordance with BS 84. All doors to be installed in accordance with BS 84. All doors to be installed in accordance with BS 84. All doors to be installed in accordance with BS 84.

Plumbing: All plumbing to be installed in accordance with BS 6800. All plumbing to be installed in accordance with BS 6800. All plumbing to be installed in accordance with BS 6800. All plumbing to be installed in accordance with BS 6800.

Electrical: All electrical to be installed in accordance with BS 7671. All electrical to be installed in accordance with BS 7671. All electrical to be installed in accordance with BS 7671. All electrical to be installed in accordance with BS 7671.

Other: All other work to be installed in accordance with BS 5266. All other work to be installed in accordance with BS 5266. All other work to be installed in accordance with BS 5266. All other work to be installed in accordance with BS 5266.

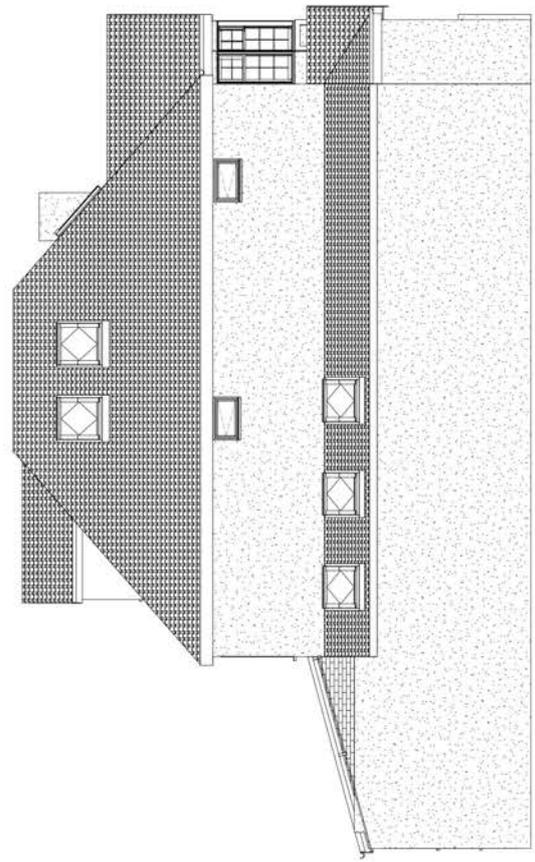
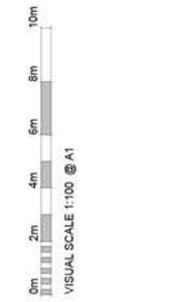


Existing Ground Floor Plan
1:50

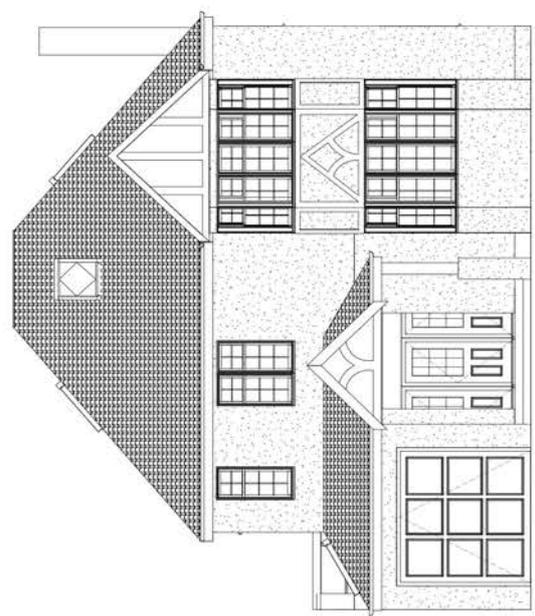
Client: Mr Anthony Strachan
Address: 15 Kewfery Road, Northwood, Middlesex, HA6 2NS
Project name: Project Name
Project number: 15KEW/020
Date: January 2020
Drawn by: Author
Checked by: Checker
Sheet number: A111
Scale: 1:50

GENERAL: TO BE CHECKED NOT TO LOCAL AUTHORITY APPROVAL MADE IN ACCORDANCE WITH THE CURRENT BUILDING REGULATIONS AND CODE OF PRACTICE. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE WORKS ON SITE AND NOTIFYING THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES. THE ARCHITECT IS NOT RESPONSIBLE FOR CHECKING THE WORKS ON SITE AND NOTIFYING THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE WORKS ON SITE AND NOTIFYING THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES.

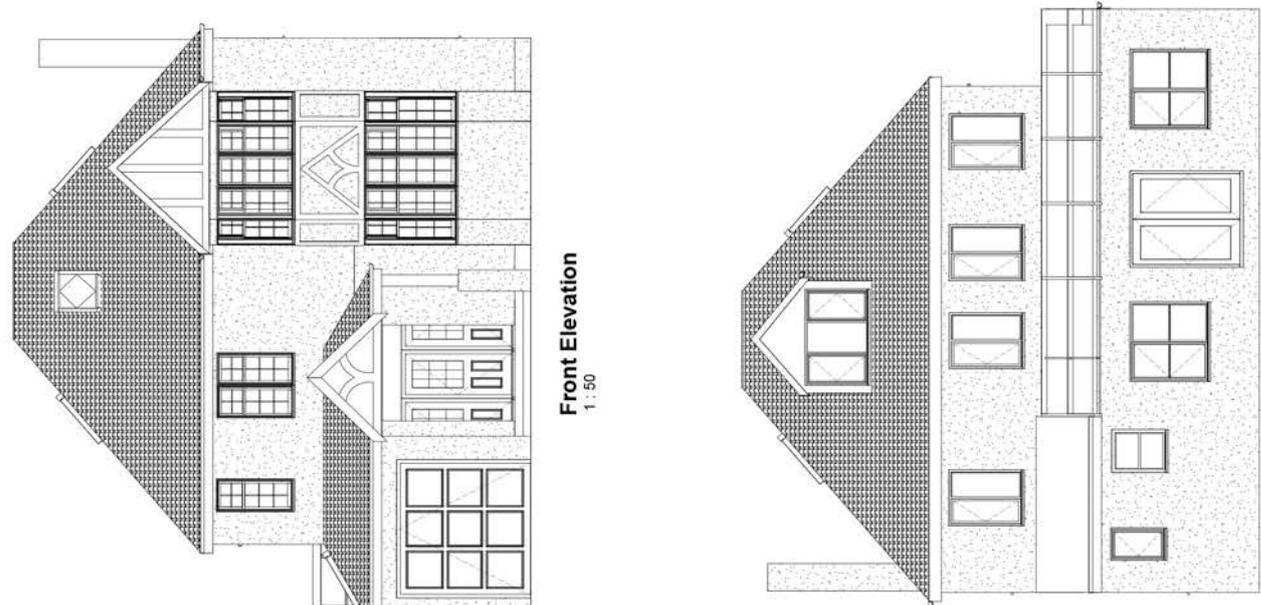
CONSTRUCTION: ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT BUILDING REGULATIONS AND CODE OF PRACTICE. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE WORKS ON SITE AND NOTIFYING THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES. THE ARCHITECT IS NOT RESPONSIBLE FOR CHECKING THE WORKS ON SITE AND NOTIFYING THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES.



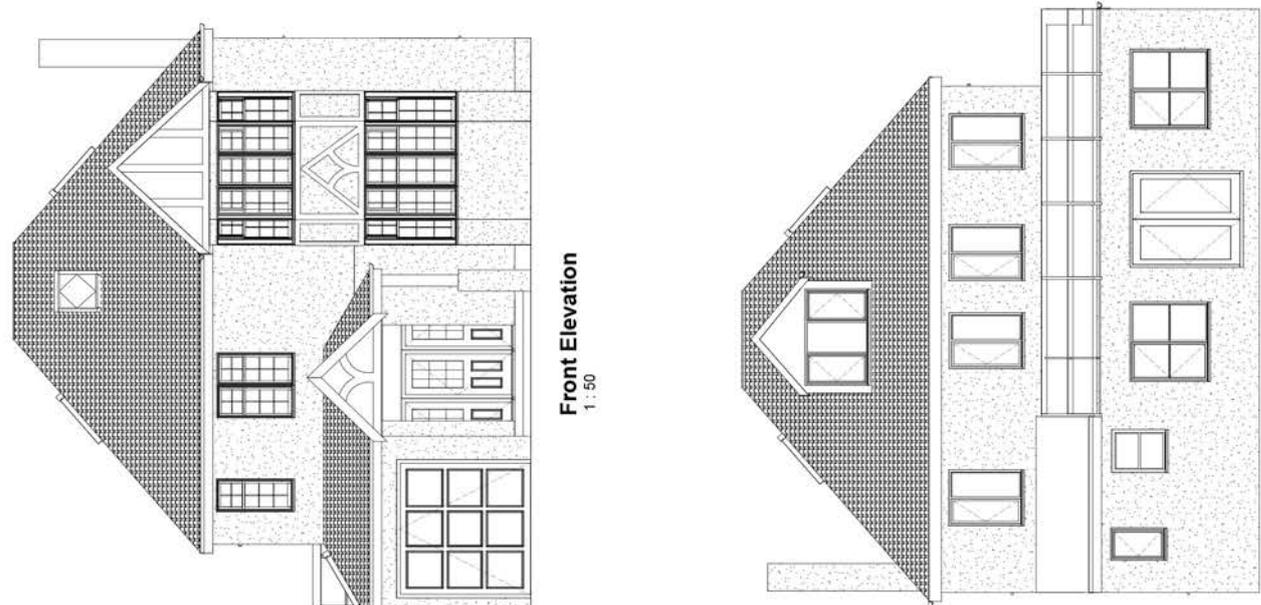
Front Elevation
1 : 50



Existing Side Elevation
1 : 50



Existing Other Side Elevation
1 : 50



Existing Rear Elevation
1 : 50

Client	Mr Anthony Strachan
Address	15 Kewfery Road Northwood Middlesex TW8 2NS
Project name	Project Name
Project number	15KEW/020
Date	January 2020
Drawn By	M.Benjamin
Checked by	MSB
Sheet number	A108
Scale	1 : 50

GENERAL: TO BE CHECKED OUT BY LOCAL AUTHORITY APPROVAL AND BE ACCORDING TO THE CURRENT BUILDING REGULATIONS AND CODE OF PRACTICE. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE CORRECTED IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR CHECKING OUT THE WORKS ON SITE AND NOTIFYING THE CLIENT OF ANY DISCREPANCIES IMMEDIATELY. DIMENSIONS PROVIDED FOR THE PURPOSE OF OBTAINING BUILDING REGULATIONS APPROVAL. DIMENSIONS MAY BE CORRECTED BY THE CLIENT AT ANY TIME WITHOUT NOTICE. DIMENSIONS MAY NOT BE CORRECTED BY THE CLIENT WITHOUT NOTICE. DIMENSIONS MAY BE CORRECTED BY THE CLIENT AT ANY TIME WITHOUT NOTICE.

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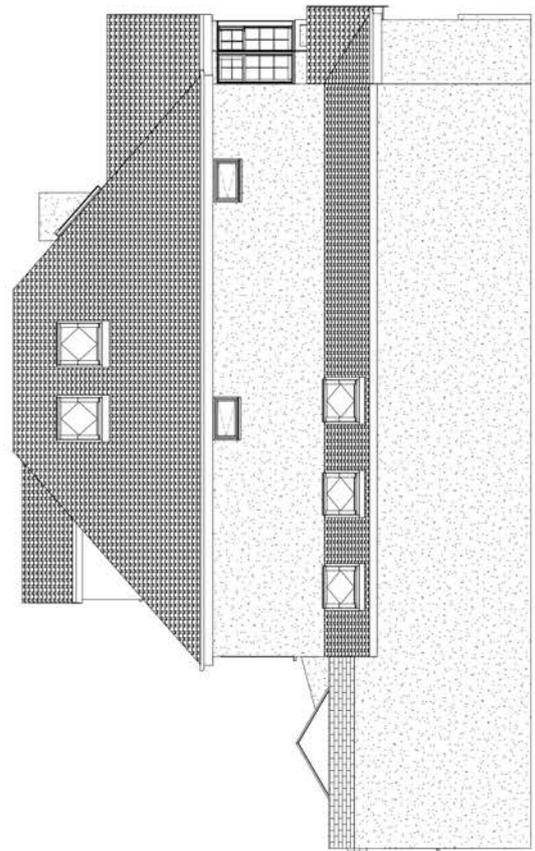
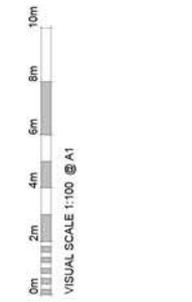
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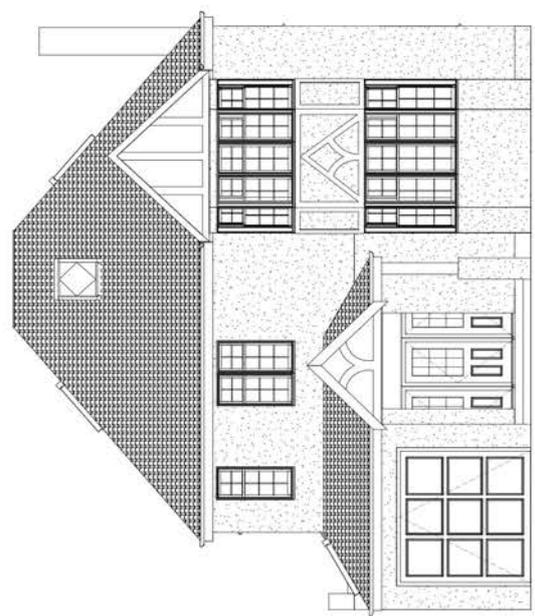
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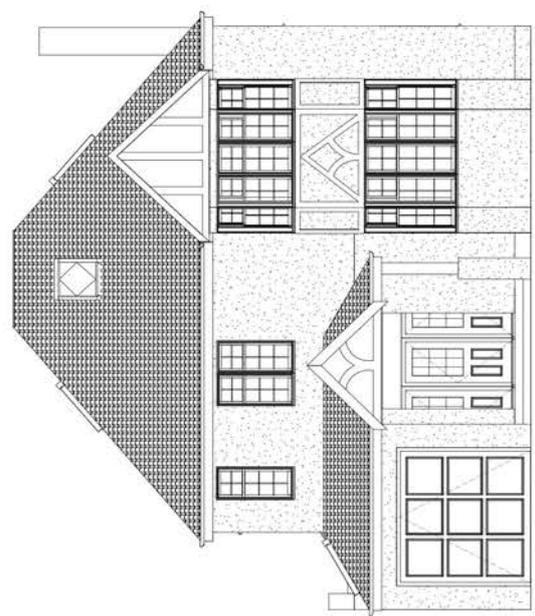
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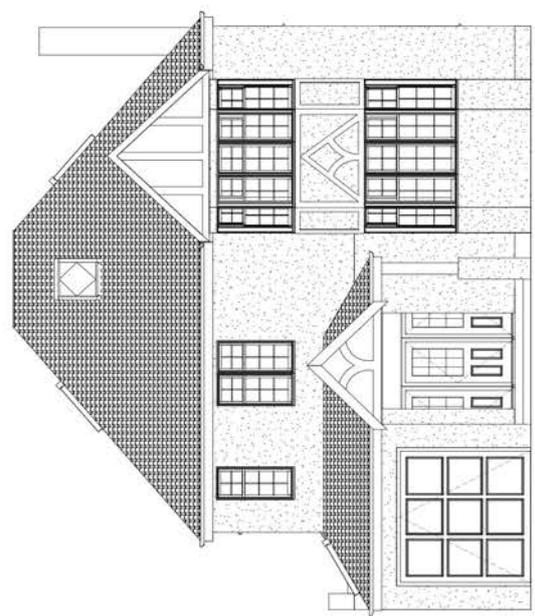
Front Elevation
1 : 50



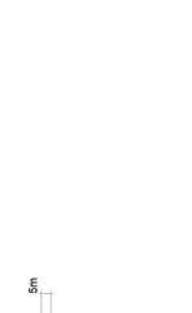
Side Elevation
1 : 50



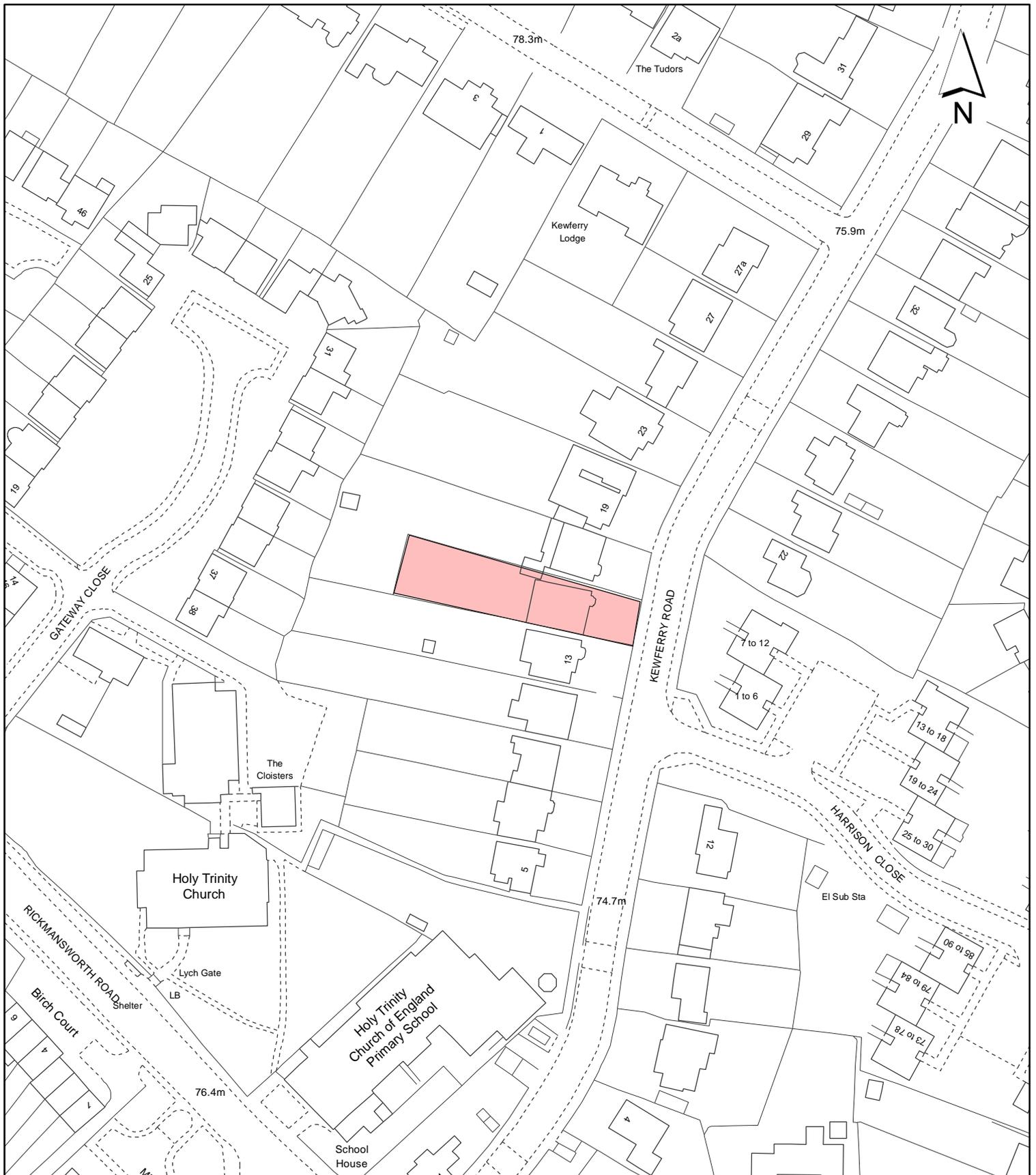
Other Side Elevation
1 : 50



Rear Elevation
1 : 50



Client	Mr Anthony Strachan
Address	15 Kewfery Road Northwood Middlesex TW8 2NS
Project name	Project Name
Project number	15KEW/020
Date	January 2020
Drawn By	M.Benjamin
Checked by	MSB
Sheet number	A108
Scale	1 : 50



Notes:

 Site boundary

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Site Address:

**15 Kewferry Road
 Northwood**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:
26090/APP/2020/300

Scale:
1:1,250

Planning Committee:
North Page 192

Date:
June 2020



Report of the Head of Planning, Transportation and Regeneration

Address 48 MURRAY ROAD NORTHWOOD

Development: Demolition of the existing bungalow and the erection of 4 x 2-storey detached dwellings with habitable roof space with parking, amenity, cycle provision, refuse and external landscaping and associated works

LBH Ref Nos: 9357/APP/2019/4133

Date Plans Received: 23/12/2019

Date(s) of Amendment(s): 09/01/2020

Date Application Valid: 08/01/2020

23/12/2019



N
SCALE 1:1250

<p>DO NOT SCALE THE DRAWING WITH DIMENSIONS ONLY TO BE USED ALL DIMENSIONS ARE IN METRES ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY</p>		<p>Job No: 7283</p> <p>PLANNING</p> <p>48 MURRAY ROAD HARBORVIEW HA5 2YL</p>	<p>p-ad 1928 Campbell Hill Road Haringey, London, N4 7JH t: 02084590372 e: info@p-ad.co.uk w: www.p-ad.co.uk</p>	<p>p-ad</p>
		<p>Title: Block plan</p> <p>Drawn by: LD</p> <p>Scale: 1:1250 @ A3</p> <p>Number: 7283-BP</p> <p>Rev: C</p>		



<p>DO NOT SCALE THE DRAWING DIMENSIONS SHOWN ONLY TO BE USED ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE STATED TO BE OTHERWISE ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY</p>		<p>Job No: 7283 DRAWING 48 MURRAY ROAD HARBOR HA/5 2/L</p>	<p>Scale: 1:500 @ A3 Drawing No: 7283.LP Rev: C</p>
<p>1928 Corporation Hill Road Harlow, Essex, Essex, UK www.p-ad.co.uk</p>		<p>Client: Existing site plan</p>	<p>Project: 7283.LP</p>

SITE AREA: 1,249 sqm

Key

- Boundary line
- Proposed trees
- Communal refuse store for collection
- Vegetation to be reduced to afford wider access way and ability for two cars to pass

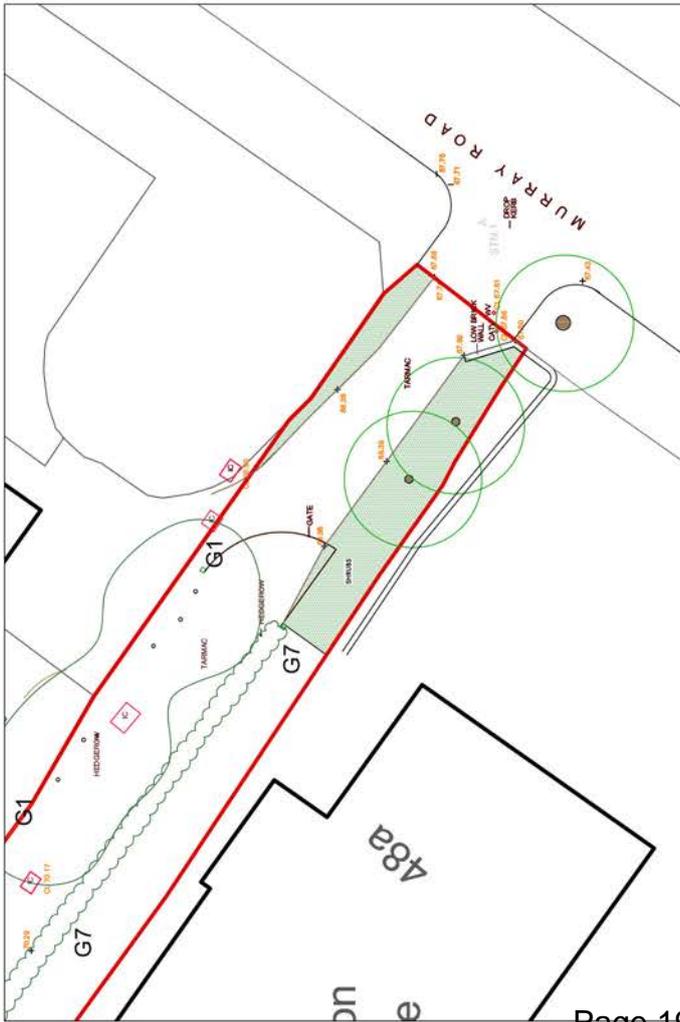
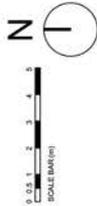


DO NOT SCALE THE DRAWING
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 ALL DIMENSIONS ARE IN METRES
 ANY DISCREPANCIES TO BE REPORTED TO THE PROJECT MANAGER

Job No	7283	Client	48 MURRAY ROAD HARROW
Discipline	PLANNING	Scale	1:500 @ A3
Project	48 MURRAY ROAD HARROW	Number	7283_03
Drawn by	MA6 2TL	Check by	
Issue	PLANNING	Date	
Revision		Author	G

p-ad
 1000 Compton Hill Road
 Haringey Hill Gates, London, NW9 7TH
 t: 02084791073
 e: info@p-ad.co.uk

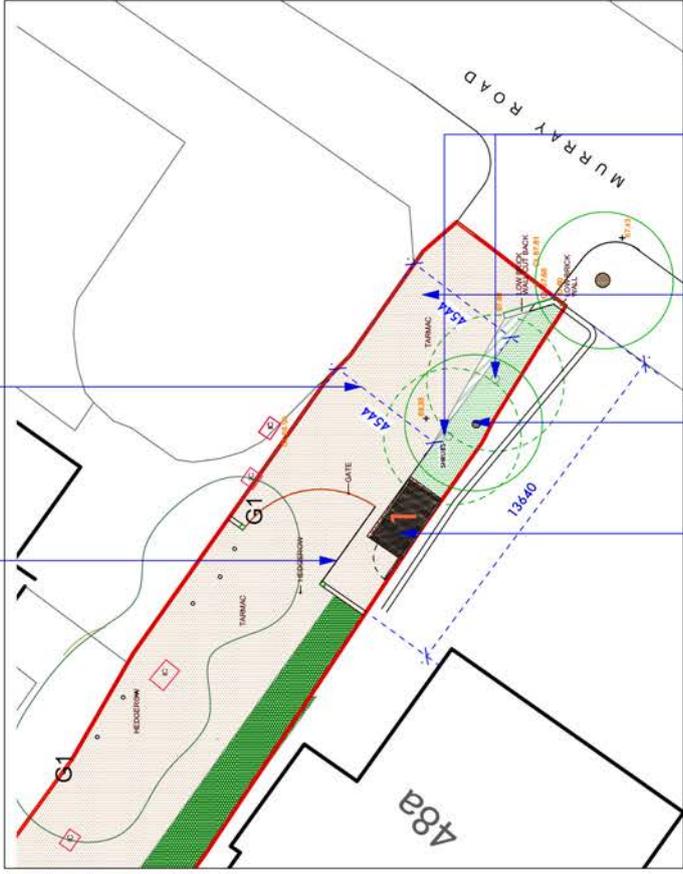




EXISTING ENTRANCE

ENTRANCE

Existing gate to remain



PROPOSED ENTRANCE

- Secure communal timber clad refuse store for collection
- Proposed beech tree (Fagus sylvatica 'dawyck')
- vegetation to be cut back
- 2 x conifers to be removed

Read in conjunction with drawing: 7283/18



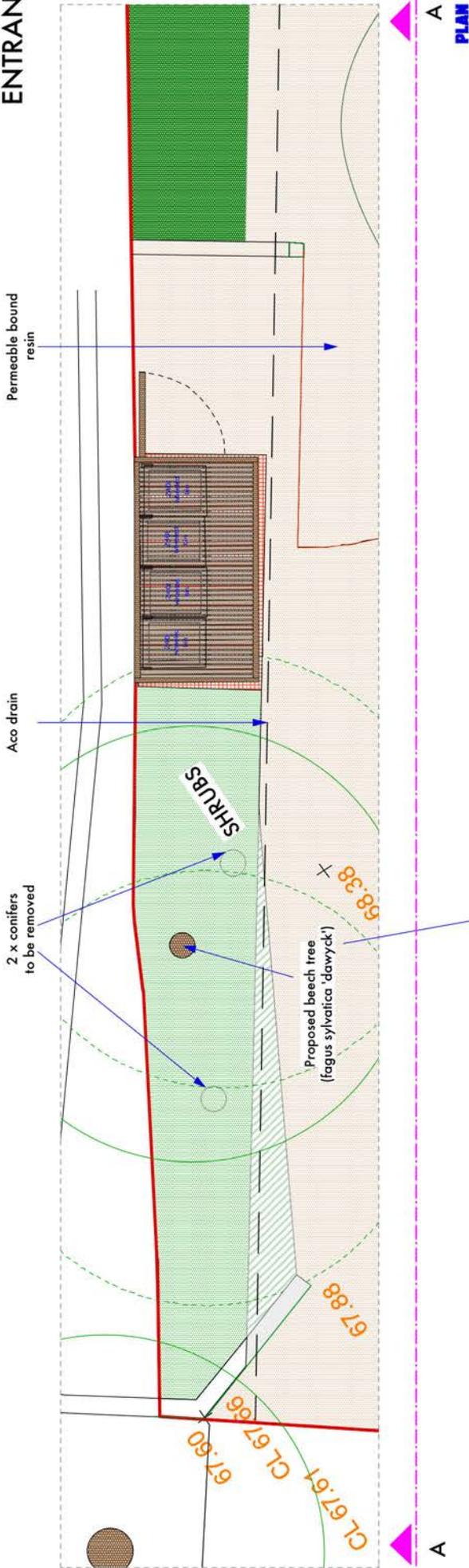
EXAMPLE OF SIMILAR LIGHTING

REFUSE STRATEGY

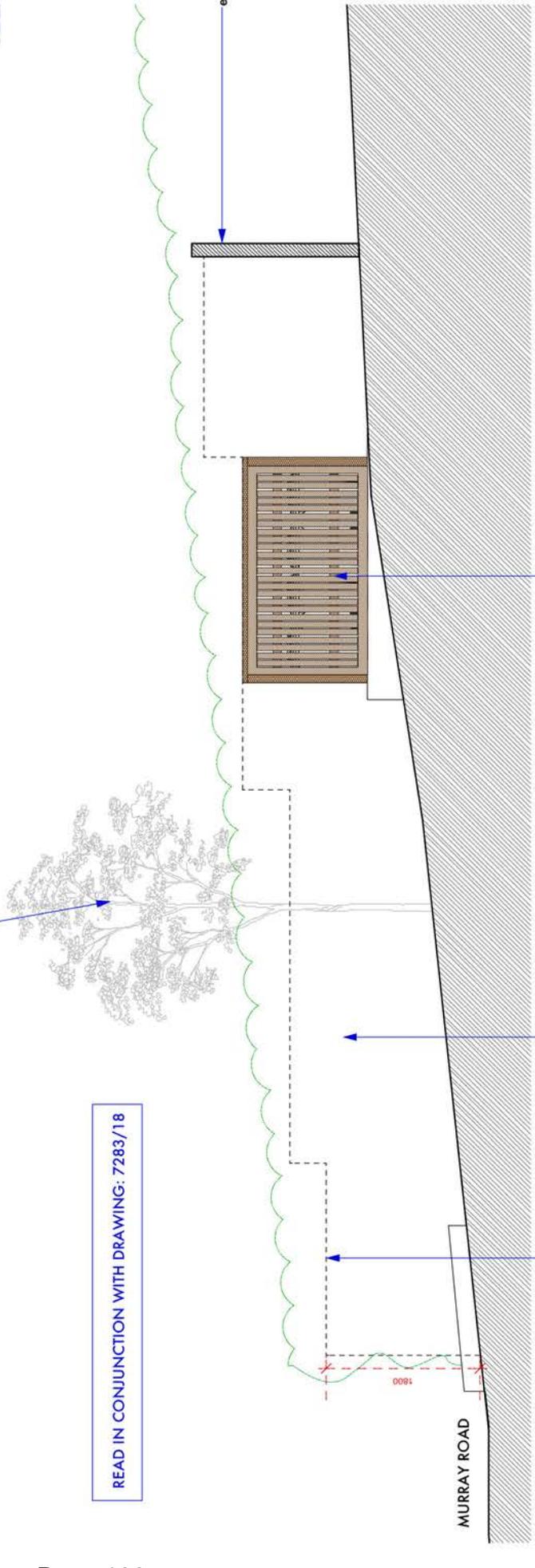
The communal store (used on collection day) is to be located within 10m of the highway (see dwg ref: 7283/14). Due to the depth of the site, the travel distance from houses to the communal store is beyond the normal 30m but due to the location of the collection point at the site entrance, residents will be passing the store daily. This is also similar to the previous arrangement for the existing single dwelling.

DO NOT SCALE THE DRAWING WITH DIMENSIONS ONLY TO BE USED ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE SPECIFIED ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY	JOB No: 7283 PLANNING 48 MURRAY ROAD HARBOR HA5 2YL	Client: 1:200@A3 Title: Entrance study Scale: 7283_14	Project: p-ad No: 1004479172 Date: 14/08/2018	Author: p-ad Checked: 14/08/2018 Number: 7283_14
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ENTRANCE

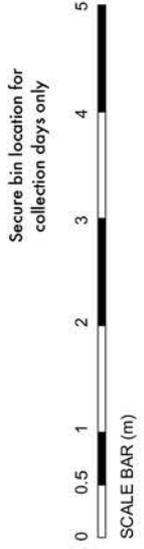


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PLAN

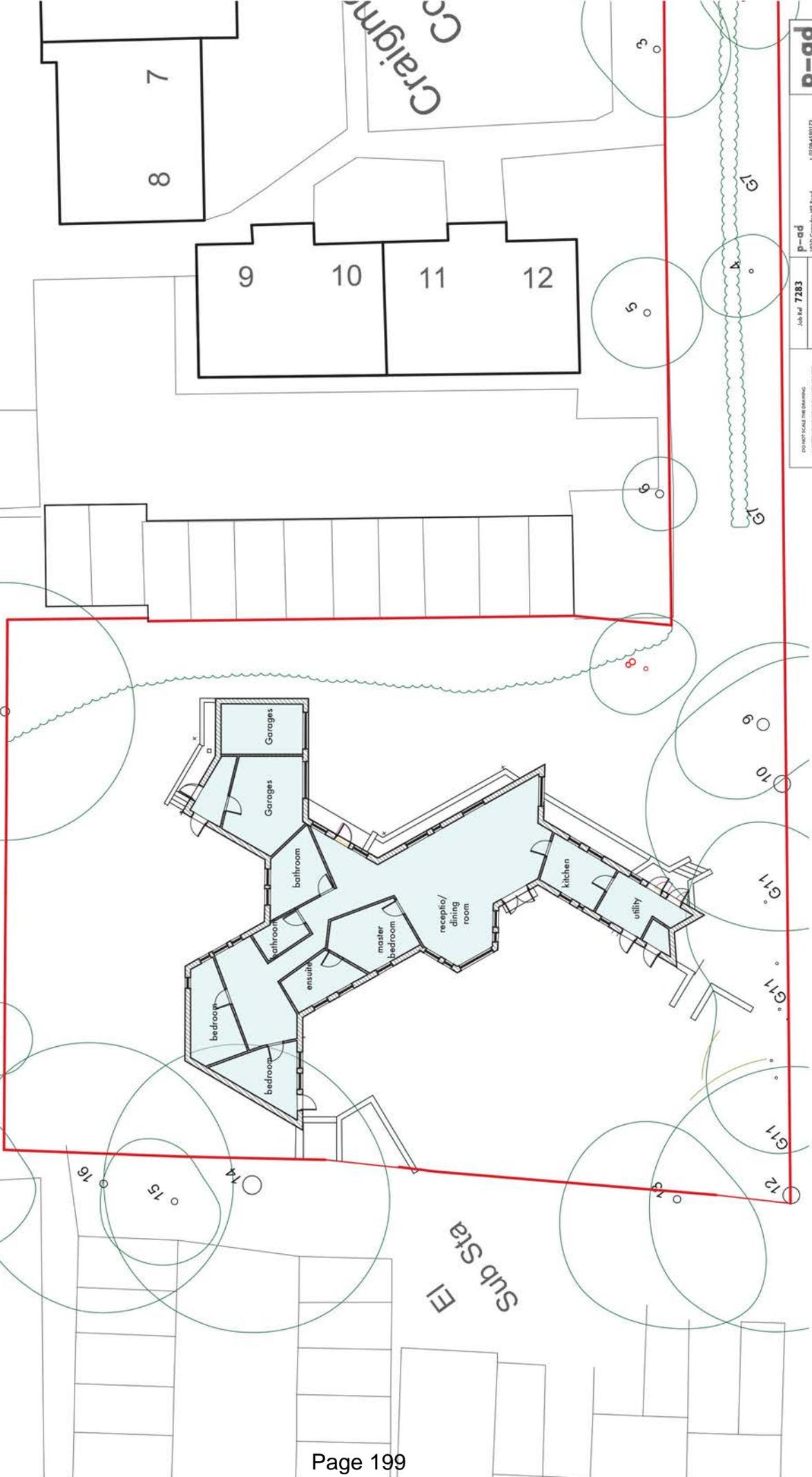


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READ IN CONJUNCTION WITH DRAWING: 7283/18



LINGFIELD CLOSE



El Sub Sta

<p>DO NOT SCALE THE DRAWING DIMENSIONS ARE TO BE USED WITH DIMENSIONS ONLY TO BE USED ALL DIMENSIONS ARE IN METRES ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY</p>		<p>Job No: 7283 PLANNING 48 MURRAY ROAD HARBORCOW HA5 2TL</p>	<p>p-ad 1928 Campbell Hill Road Haring Hill Green, London, W8 7TH t: 02045490172 w: harrad@p-ad.co.uk</p>	<p>p-ad Title: Existing ground floor Drawn by: LD Scale: 1:200@ A3 Number: 7283_01 Rev: C</p>
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LINGFIELD CLOSE



AREAS SCHEDULE	
HOUSE A	185 sqm
HOUSE B	188 sqm
HOUSE C	168 sqm
HOUSE D	165 sqm

KEY	
	Electric vehicle charging point
	Refuse store
	2x visitors Bicycles space

	Alnus incana 'aurea'
	Pleached tree
	Cherry tree
	Almond tree

71.38	EXISTING SITE LEVEL
71.68	PROPOSED SITE LEVEL

9-12 Lingfield Close

9 10 11 12



DO NOT SCALE THIS DRAWING
 WITHIN EMPHOSES ONLY TO BE USED
 ALL DIMENSIONS ARE IN METRES
 ANY DISCREPANCIES SHALL BE REFERRED
 TO THE ARCHITECT'S OFFICE

JOB NO	7283	p-ad	16.11.17	16.11.17	16.11.17	16.11.17
PLANNING						
48 MURRAY ROAD						
MARROW						
HAS TEL						
LD	1:200@A3	Number	7283_04	Rev		G

proposed ground floor plan



LINGFIELD CLOSE



<p>DO NOT SCALE THE DRAWING WITH DIMENSIONS ONLY TO BE USED ALL DIMENSIONS ARE IN METRES ANY DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT IMMEDIATELY</p>		<p>JOB NO: 7283</p>	<p>p-ad</p>	<p>© 2008/2012 Planning 48 MURRAY ROAD HASBROU</p>	<p>7283_05</p>
<p>PLANNING</p>		<p>PROPOSED FIRST FLOOR PLAN</p>	<p>1:200@A3</p>	<p>7283_05</p>	<p>G</p>



LINGFIELD CLOSE



9-12 Lingfield Close

DO NOT SCALE THE DRAWING WRITE DIMENSIONS ONLY TO BE USED ALL DIMENSIONS ARE IN METRES ALL DIMENSIONS TO BE MARKED ON SITE ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY	JOB NO: 7283 PLANNING 48 MURRAY ROAD HARROW HA5 2TL	<p>p-ad</p> <p>© 2008-2012 Hunting Hill Group, London, UK LTD www.huntinghill.co.uk</p>	<p>p-ad</p> <p>PLANNING 48 MURRAY ROAD HARROW HA5 2TL</p>	<p>p-ad</p> <p>proposed second floor plan</p>	<p>LD 1:200@A3</p>	<p>7283_06</p>	<p>REV G</p>
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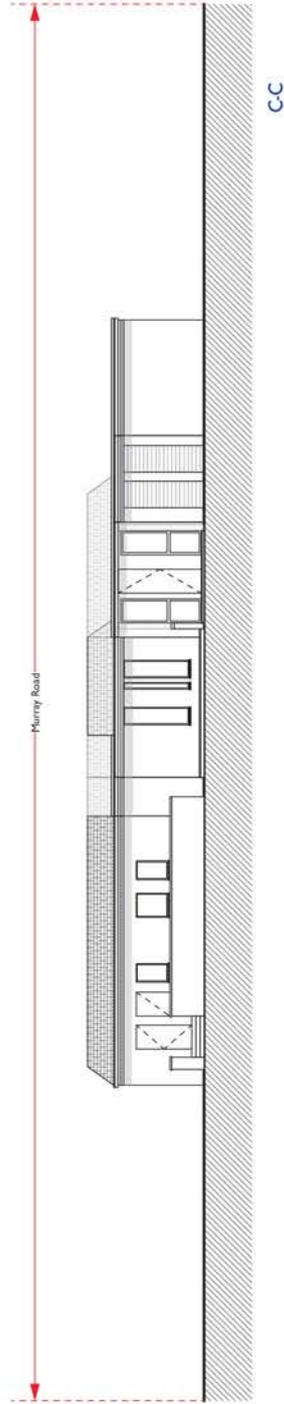
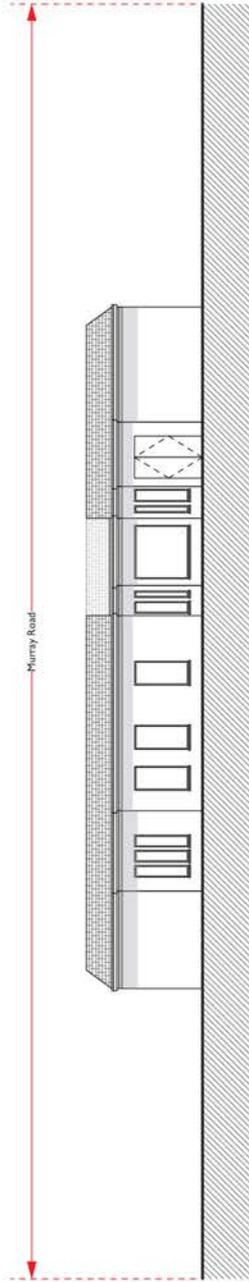
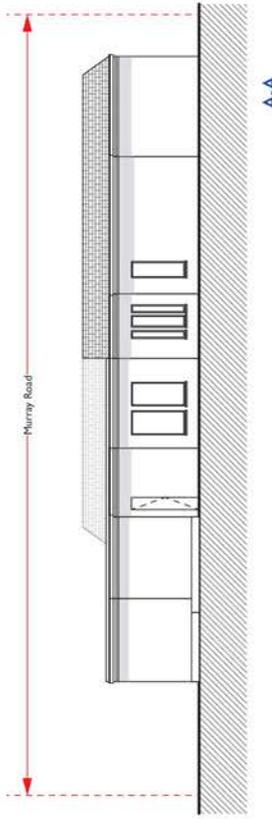
LINGFIELD CLOSE



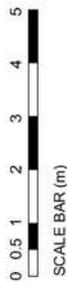
<p>DO NOT SCALE THE DRAWING WITH DIMENSIONS ONLY TO BE USED ALL DIMENSIONS ARE IN METRES ANY DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY</p>		<p>JOB NO: 7283</p>	<p>DATE: 12/06/2024</p>	<p>PROJECT: 48 MURRAY ROAD HARROW</p>	<p>SCALE: 1:200@A3</p>	<p>NO: 7283_07</p>
<p>DATE: 12/06/2024</p>	<p>PROJECT: 48 MURRAY ROAD HARROW</p>	<p>SCALE: 1:200@A3</p>	<p>NO: 7283_07</p>	<p>NO: 7283_07</p>	<p>NO: 7283_07</p>	<p>NO: 7283_07</p>
<p>DATE: 12/06/2024</p>	<p>PROJECT: 48 MURRAY ROAD HARROW</p>	<p>SCALE: 1:200@A3</p>	<p>NO: 7283_07</p>	<p>NO: 7283_07</p>	<p>NO: 7283_07</p>	<p>NO: 7283_07</p>



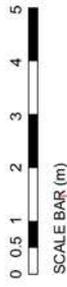
PROOF AND KEY PLAN



<p>DO NOT SCALE THE DRAWING WITH DIMENSIONS ONLY TO BE USED ALL DIMENSIONS ARE IN MILLIMETRES ALL DIMENSIONS TO BE SHOWN ON SITE ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY</p>	<p>Job No: 7283</p>	<p>p-ad 1928 Camphill Hill Road Haring Hill Green, London, W8 7TH t: 02084590172 w: info@p-ad.co.uk</p>
	<p>PLANNING</p>	<p>Exg elevations</p>
<p>48 MURRAY ROAD HARROW HA6 2TL</p>	<p>Title: Exg elevations Drawn by: LD Scale: 1:500 LD</p>	<p>Number: 7283_02 Rev: C</p>



<p>DO NOT SCALE THE DRAWING WRITTEN DIMENSIONS ONLY TO BE USED ALL DIMENSIONS ARE IN MILLIMETRES ANY DISCREPANCIES TO BE REFERRED ON SITE TO THE ARCHITECT'S REPRESENTATIVE</p>		<p>p-ad Job Ref: 7283 PLANNING 48 MURRAY ROAD HARROW HA5 2TL</p>	<p>p-ad Name: ACOR 10, 11 & 12 Murray Rd, Harrow, London, HA5 2TL www.p-adplanning.co.uk</p>	<p>p-ad Title: Proposed elevation AA Drawn by: SK LD Number: 7283_08</p>	<p>Rev G</p>
---	--	---	--	--	--------------------------



SITE EXTENT



- tiles
- timber rooflight
- timber doors
- metal railing painted black
- timber sash windows
- red brick
- metal framed Crittall style door
- red brick detail

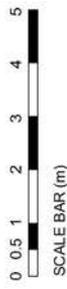
ELEVATION B-B



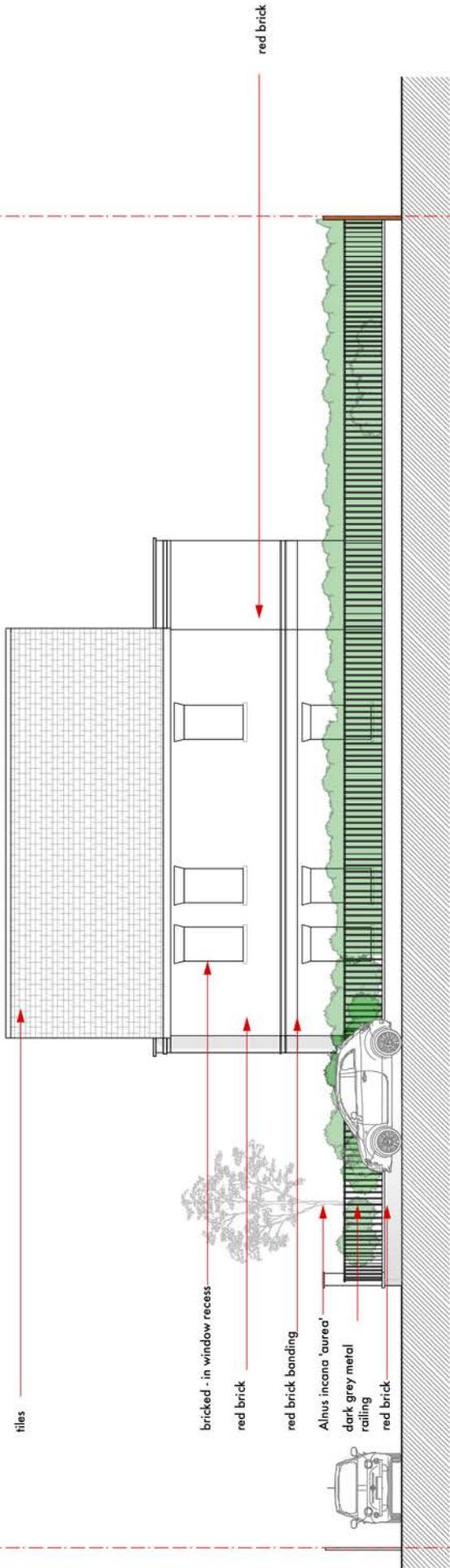
KEY PLAN

JOB REF: 7283		p-ad		p-ad	
PLANNING		No. of drawings: 1		© 2008/2012 p-ad	
48 MURRAY ROAD HASBROCK		Title: Proposed elevation BB		Number: 7283_09	
LD		Scale: 1:100 @A3		Rev: G	

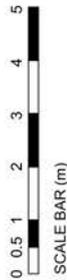
DO NOT SCALE THE DRAWING
 WRITTEN DIMENSIONS ONLY TO BE USED
 ALL DIMENSIONS ARE IN MILLIMETRES
 ANY ACCURACIES ARE YOUR RESPONSIBILITY



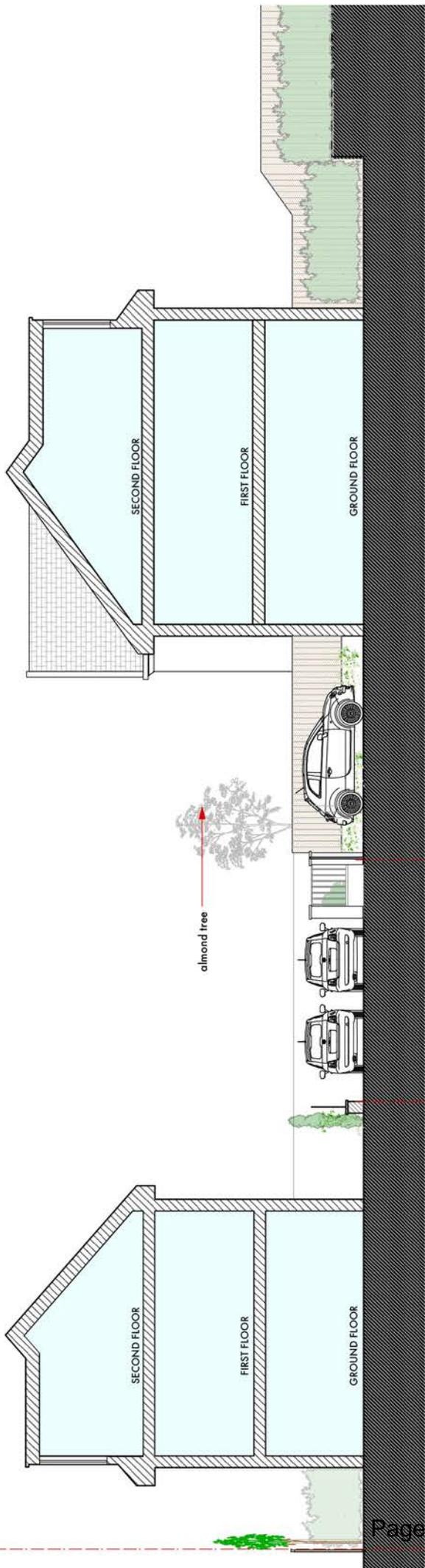
SITE EXTENT



<p>DO NOT SCALE THE DRAWING WRITTEN DIMENSIONS ONLY TO BE USED ALL DIMENSIONS ARE IN MILLIMETRES ANY DISCREPANCIES BETWEEN DIMENSIONS TO THE ARCHITECT'S PRECEDENCE</p>		<p>JOB REF: 7283</p>	<p>p-ad</p>	<p>PLANNING</p>	<p>PROPOSED ELEVATION CC</p>	<p>p-ad</p>
		<p>48 MURRAY ROAD HASBROCK</p>	<p>1:100 @A3</p>	<p>7283_10</p>	<p>Number</p>	<p>G</p>
		<p>HAAS ZTL</p>	<p>LD</p>	<p>7283_10</p>	<p>Number</p>	<p>G</p>



SITE EXTENT

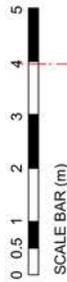


SECTION D-D

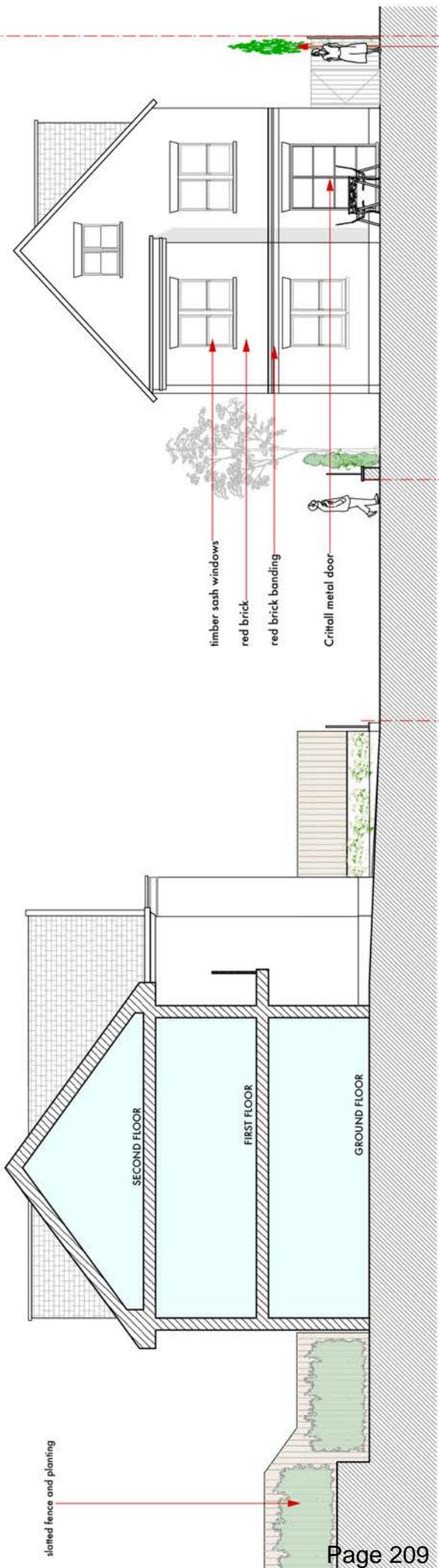


KEY PLAN

DO NOT SCALE THE DRAWING DIMENSIONS ONLY TO BE USED ALL DIMENSIONS ARE IN MILLIMETRES ALL DIMENSIONS TO BE VIEWED ON SITE ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY	Job No: 7283 PLANNING	p-ad H. Ash Haring Hill Close, London, W8 7TH h@adgroup.co.uk	p-ad 1:100 @A3 7283
	48 MURRAY ROAD HARROW HA5 2YL	Title Proposed section DD	Date: 13 Scale: 1:100 @A3 No: 13 Rev: G



SITE EXTENT



HOUSE A

HOUSE D

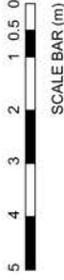
pleached tree

SECTION E-E

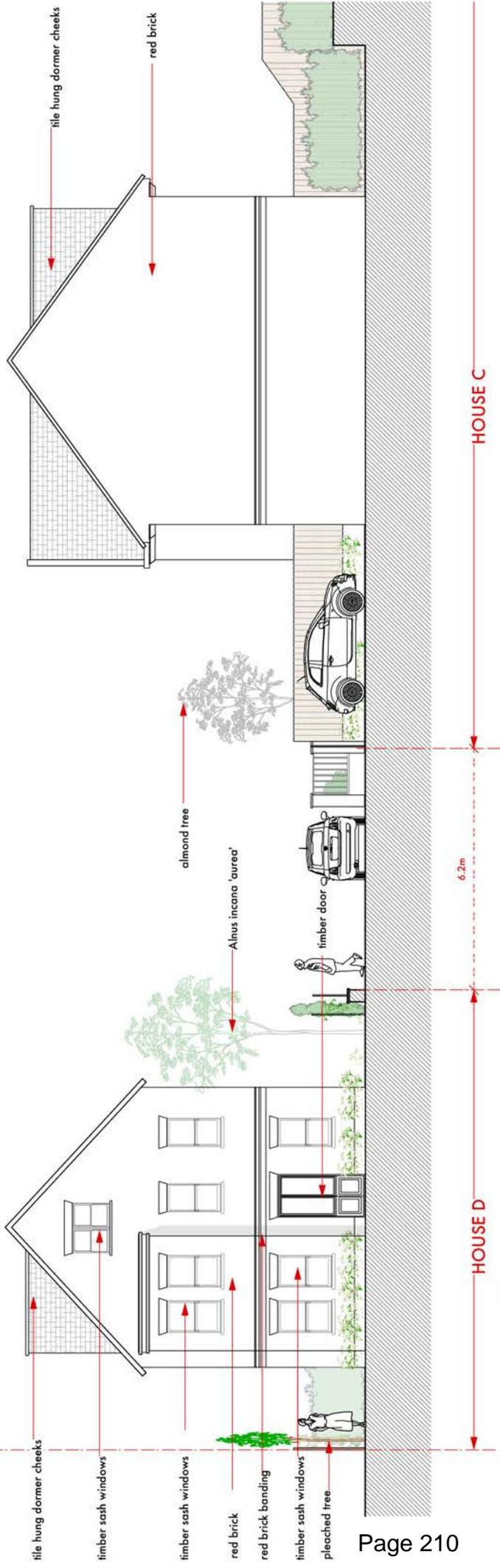


KEY PLAN

DO NOT SCALE THE DRAWING DIMENSIONS SHOULD ONLY BE USED AS A GUIDE ALL DIMENSIONS TO BE VERIFIED ON SITE ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY	Job No	7283	p-ad	11004791372	p-ad
	PLANNING	48 MURRAY ROAD HARBORW HA5 2YL	48 MURRAY ROAD HARBORW HA5 2YL	11004791372 @ haddingsmorrison.co.uk	
				Proposed elevation E-E	
				Scale	1:100 @A3
				Number	7283_11
				Rev	G



SITE EXTENT



SECTION F-F

DO NOT SCALE THE DRAWING DIMENSIONS ONLY TO BE USED ALL DIMENSIONS ARE IN MILLIMETRES ALL DIMENSIONS TO BE VIEWED ON SITE ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY	Job No	7283	p-ad	1:100 @A3	Number	7283.12
	PLANNING	48 MURRAY ROAD HARBOR	48 MURRAY ROAD HARBOR	LD	7283.12	G
	Client	LD	Scale	1:100 @A3	Number	7283.12
	Proposed elevation	F-F				
	Architect	48 MURRAY ROAD HARBOR				
	Address	48 MURRAY ROAD HARBOR				
	City	London	London	London	London	London
	Country	UK	UK	UK	UK	UK
	Project	48 MURRAY ROAD HARBOR				
	Client	LD	LD	LD	LD	LD
	Scale	1:100 @A3				
	Number	7283.12	7283.12	7283.12	7283.12	7283.12
	Revision	G	G	G	G	G

KEY PLAN

New drainage connection

Cedar close boarded fence (see image below)

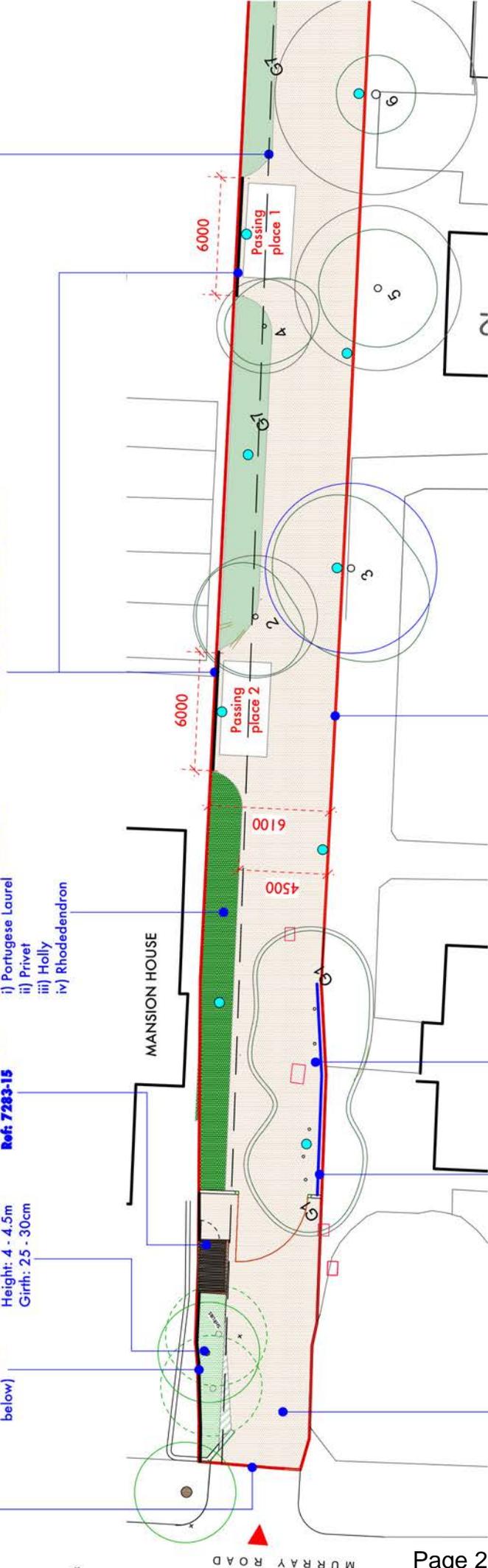
Replacement tree - 'Dawyck' *Fagus sylvatica*
Height: 4 - 4.5m
Girth: 25 - 30cm

New timber clad refuse housing with door to secure bins
Ref: 7283-15

Retain depth of planting by removing dead specimens and infilling with species such as:
i) Portuguese Laurel
ii) Privet
iii) Holly
iv) Rhododendron

Proposed sections of cedar close boarded fence (To secure privacy of windows to rear of Mansion House)

Aco drain extending full length of driveway

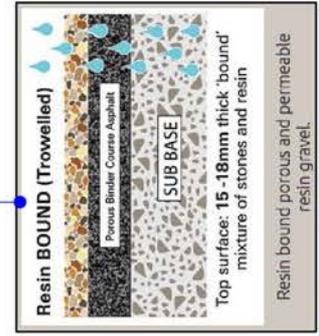


Permeable bound resin extending the whole driveway

Simple black painted metal railings to preserve privacy.

Overhanging branches and dead stumps to be removed and privacy secured with metal railings

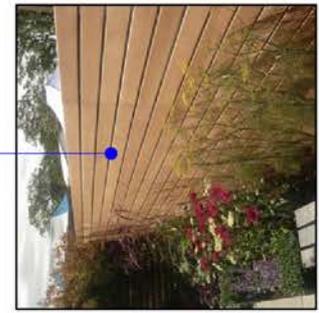
Replace with new cedar close boarded fence



Resin bound porous and permeable resin gravel.



Black painted metal railing

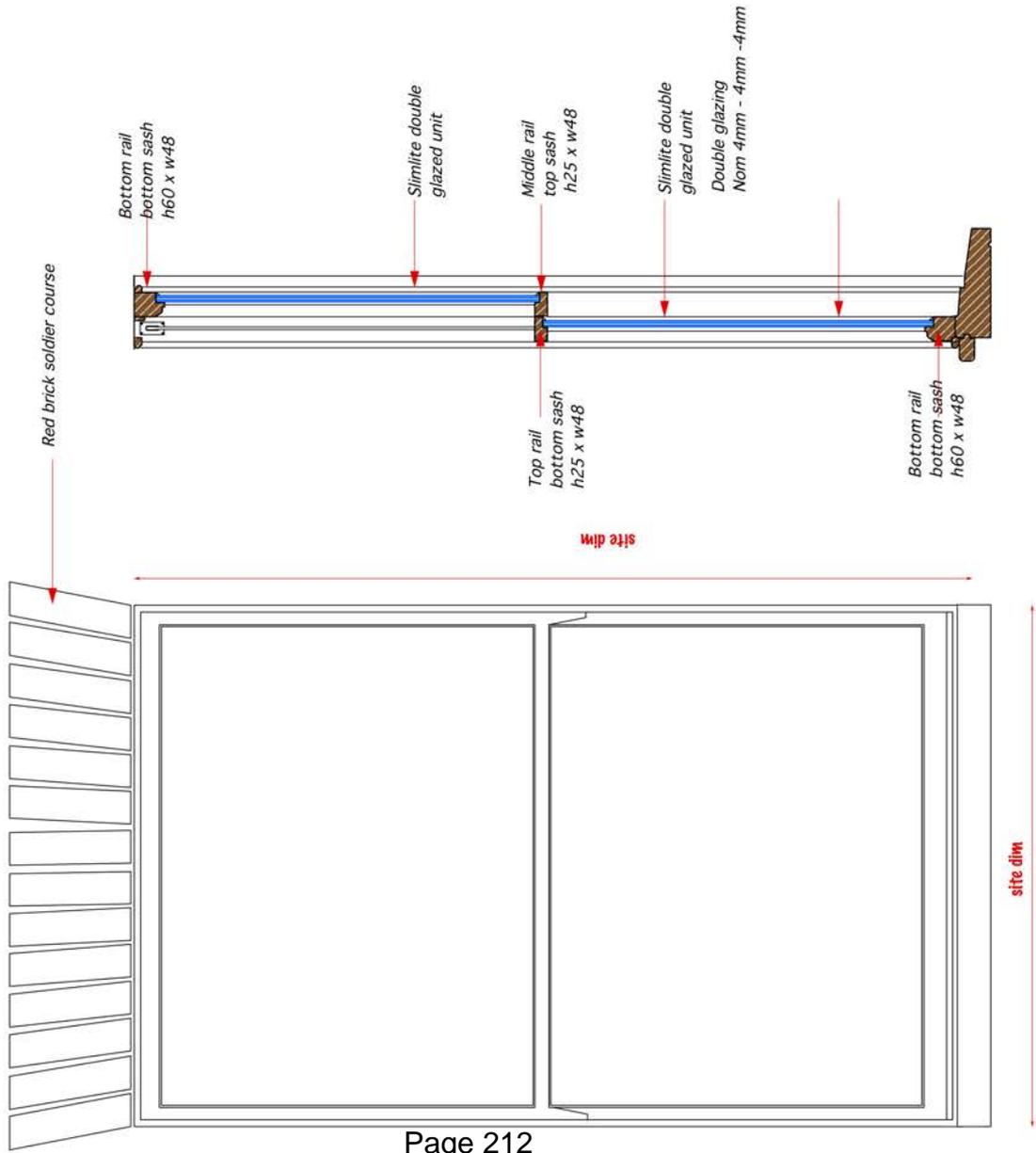


Cedar close boarded fence

	Low level lighting to either side of driveway (along full length)
	Black painted metal railing
	Cedar close boarded fence
	Aco drain
	Site boundary

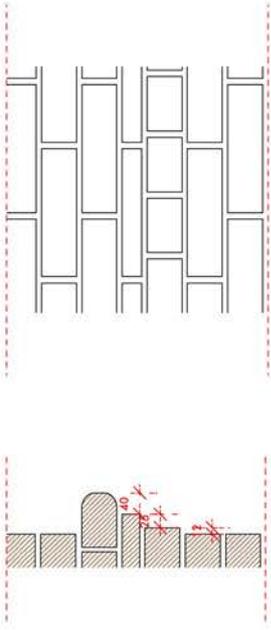


DO NOT SCALE THE DRAWING WRITE DIMENSIONS ONLY TO BE USED ALL DIMENSIONS ARE IN METRES ALL DIMENSIONS TO BE VIEWED ON SITE ANY DISCREPANCIES TO BE REPORTED TO THE APPLICANT IMMEDIATELY		<p>p-ad</p> <p>1105 BR 7283</p> <p>PLANNING</p> <p>48 MURRAY ROAD HARROW HA5 2YL</p>	
Client:	LD	Scale:	1:200 @ A3
Drawn by:	HA5 2YL	Number:	7283-18
Rev:	G		



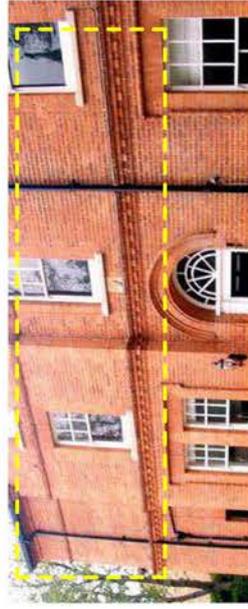
TYPICAL WINDOW ELEVATION
scale 1 - 10

TYPICAL WINDOW SECTION
scale 1 - 10



SECTION 1:10

ELEVATION 1:10



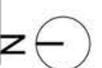
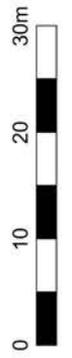
EXAMPLE OF A SIMILAR BRICK DETAIL SHOWING BOTH
BANDING AND SOLDIER COURSES

DO NOT SCALE THE DRAWING DIMENSIONS ONLY TO BE USED ALL DIMENSIONS ARE IN MILLIMETRES ALL DIMENSIONS TO BE VERIFIED ON SITE ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY		Job No: 7283	p-ad	Project No: 11006 A3	Client: Architectural detailing	Scale: 1:100 @ A3	Number: 17	Rev: G
p-ad		Project No: 11006 A3	Client: Architectural detailing	Scale: 1:100 @ A3	Number: 17	Rev: G	p-ad	
PLANNING		48 MURRAY ROAD HARBOROUGH	48 MURRAY ROAD HARBOROUGH	48 MURRAY ROAD HARBOROUGH	48 MURRAY ROAD HARBOROUGH	48 MURRAY ROAD HARBOROUGH	p-ad	
PLANNING		48 MURRAY ROAD HARBOROUGH	48 MURRAY ROAD HARBOROUGH	48 MURRAY ROAD HARBOROUGH	48 MURRAY ROAD HARBOROUGH	48 MURRAY ROAD HARBOROUGH	p-ad	



<p>DO NOT SCALE THE DRAWING WITH DIMENSIONS ONLY TO BE USED ALL DIMENSIONS ARE IN METRES ALL DIMENSIONS TO BE VIEWED ON SITE ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY</p>		<p>Job No: 7283</p> <p>PLANNING</p> <p>48 MURRAY ROAD HARBOR HA5 2TL</p>	<p>Client: LD</p> <p>Scale: 1:500 @ A3</p> <p>Number: 7283_16</p>	<p>Project: p-ad</p> <p>Client: SCOR</p> <p>Address: 48 MURRAY ROAD, HARBOR, HA5 2TL</p> <p>Project Name: Sewer plan</p>	<p>Project: p-ad</p> <p>Client: SCOR</p> <p>Address: 48 MURRAY ROAD, HARBOR, HA5 2TL</p> <p>Project Name: Sewer plan</p>
---	--	---	--	--	--

- - - - - FOUL DRAIN CONNECTION
- - - - - STORM DRAIN CONNECTION





48 Murray Road



48 Murray Road

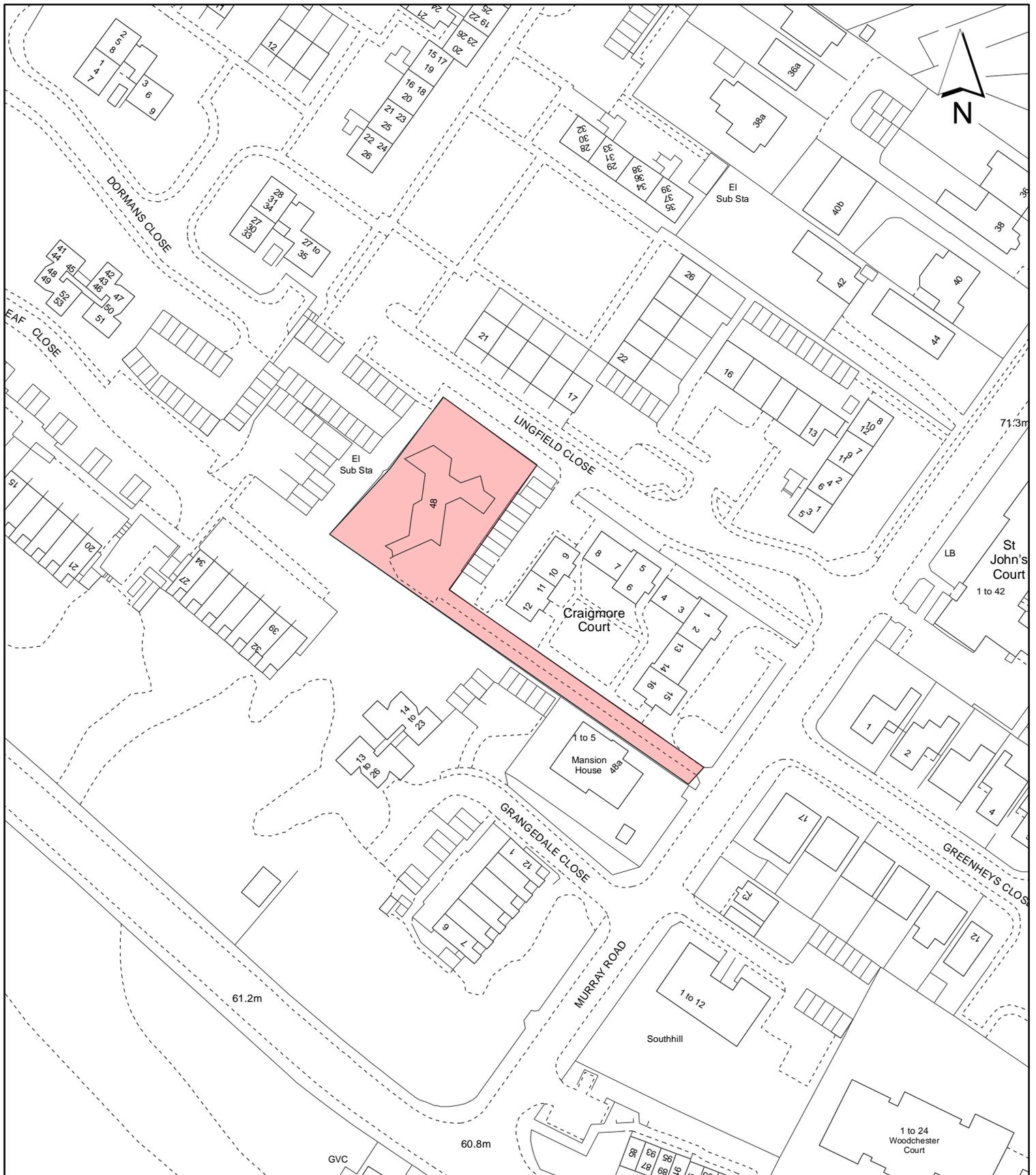


48 Murray Road



48 Murray Road

<p>48 Murray Road</p> <p>DO NOT SCALE THE DRAWING</p> <p>WRITE DIMENSIONS ONLY TO BE USED</p> <p>ALL DIMENSIONS ARE IN METRES</p> <p>ANY DISCREPANCIES TO BE REPORTED</p> <p>TO THE APPLICANT IMMEDIATELY</p>		<p>p-ad</p> <p>1028 Campbell Hill Road</p> <p>Haring Hill Circle, London, W9 7TH</p> <p>t: 02084590372</p> <p>w: info@p-ad.co.uk</p>	<p>p-ad</p>
<p>Job No: 7283</p>	<p>PLANNING</p>	<p>Scale: nils</p>	<p>Number: 7283.ph</p>
<p>48 MURRAY ROAD</p> <p>HARROW</p> <p>HA6 2TL</p>	<p>Title: PHOTO SHEET</p>	<p>Drawn by: LD</p>	<p>Rev: C</p>



Notes:

 Site boundary

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Site Address:

**48 Murray Road
 Northwood**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

9357/APP/2019/4133

Scale:

1:1,250

Planning Committee:

North Page 215

Date:

June 2020

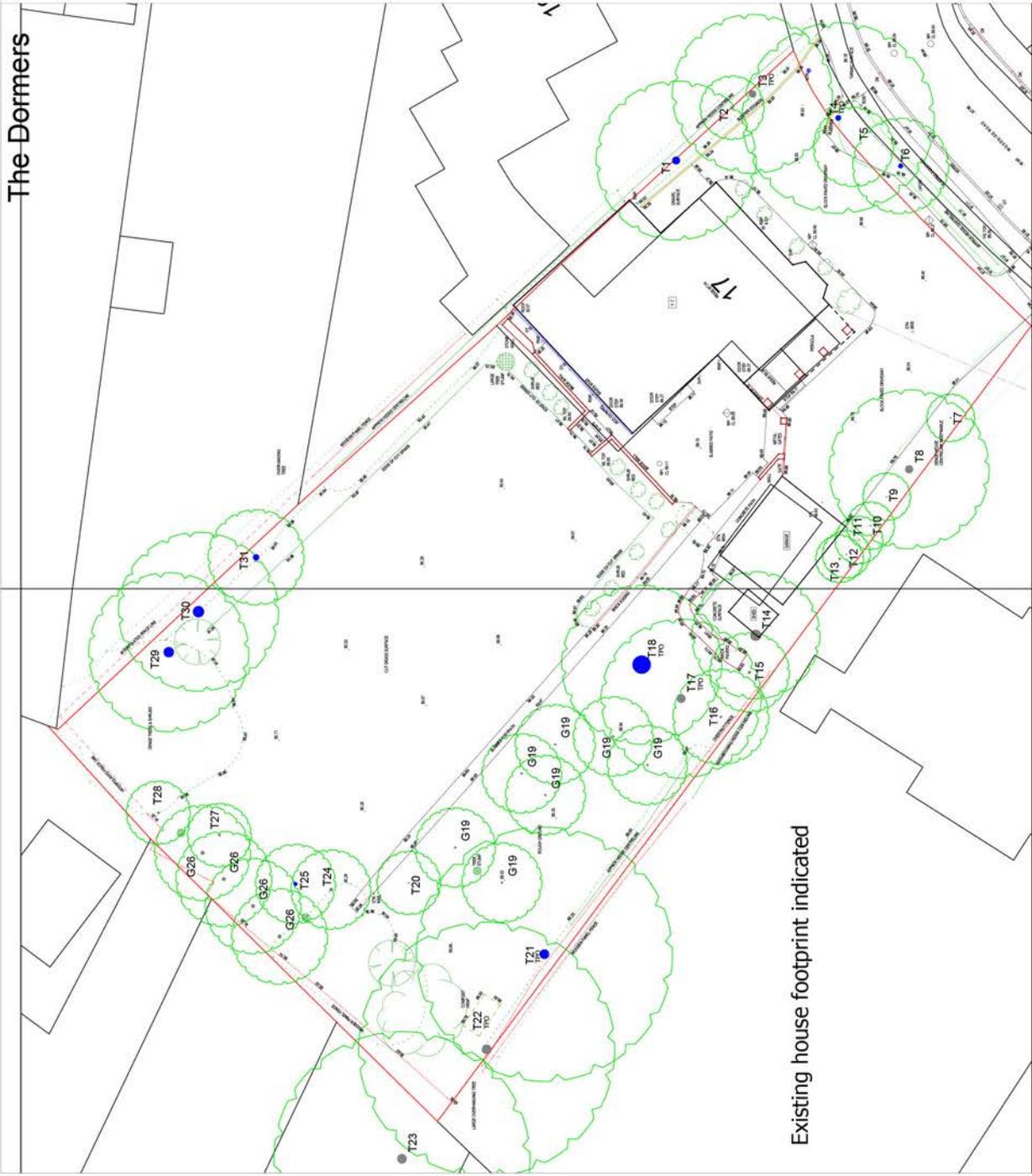


Report of the Head of Planning, Transportation and Regeneration

Address 17 WOODSIDE ROAD NORTHWOOD
Development: Two storey side extension and first floor rear extension
LBH Ref Nos: 29754/APP/2019/3994

Date Plans Received:	09/12/2019	Date(s) of Amendment(s):	09/12/2019
Date Application Valid:	07/01/2020		28/05/2020

The Dormers

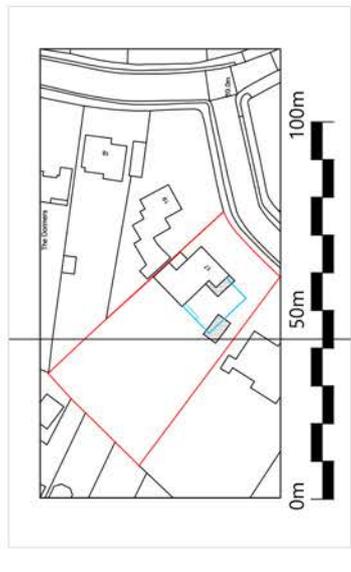


Existing house footprint indicated

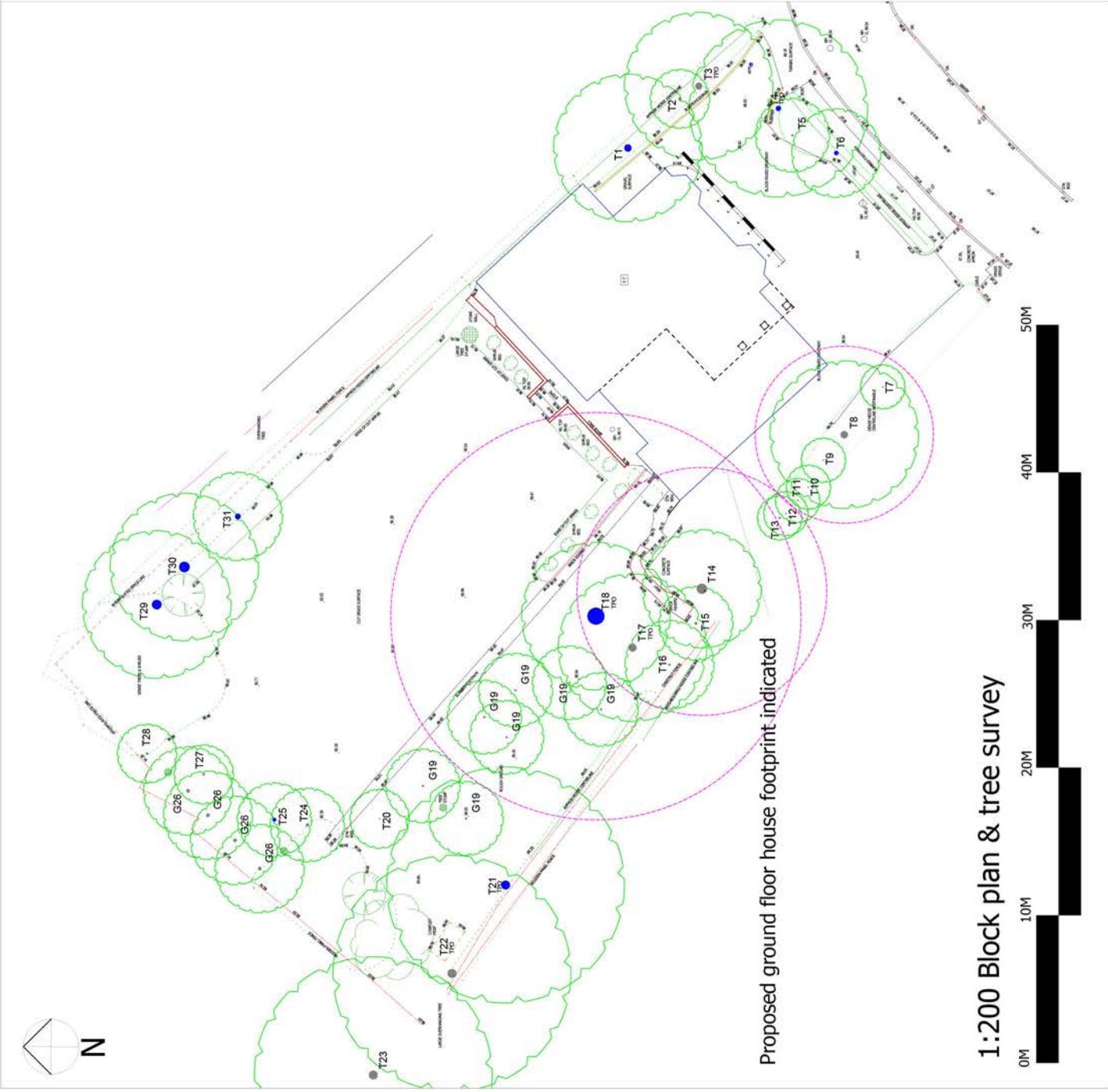
1:200 Site plan & tree survey

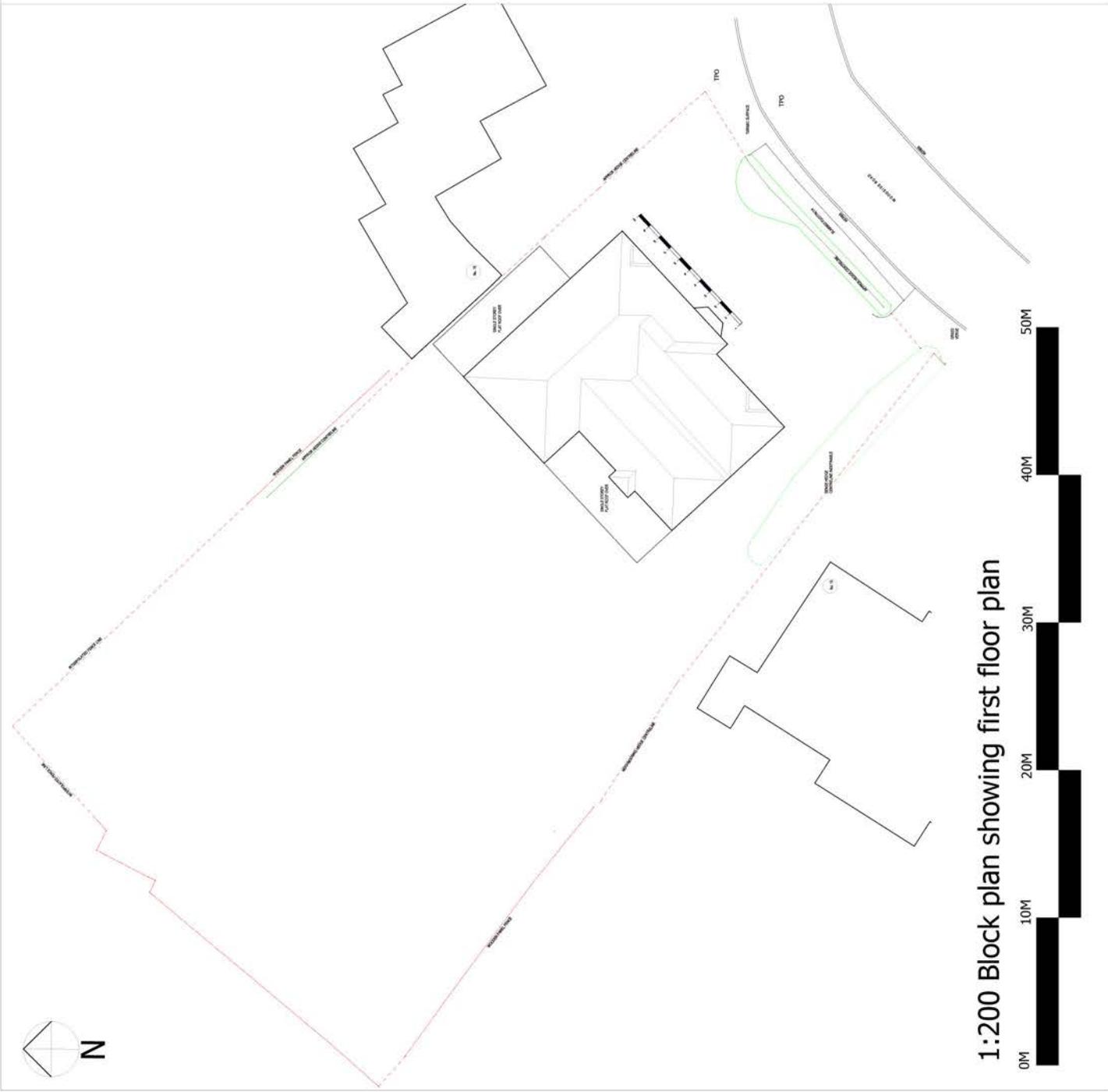


1:1250 Location plan



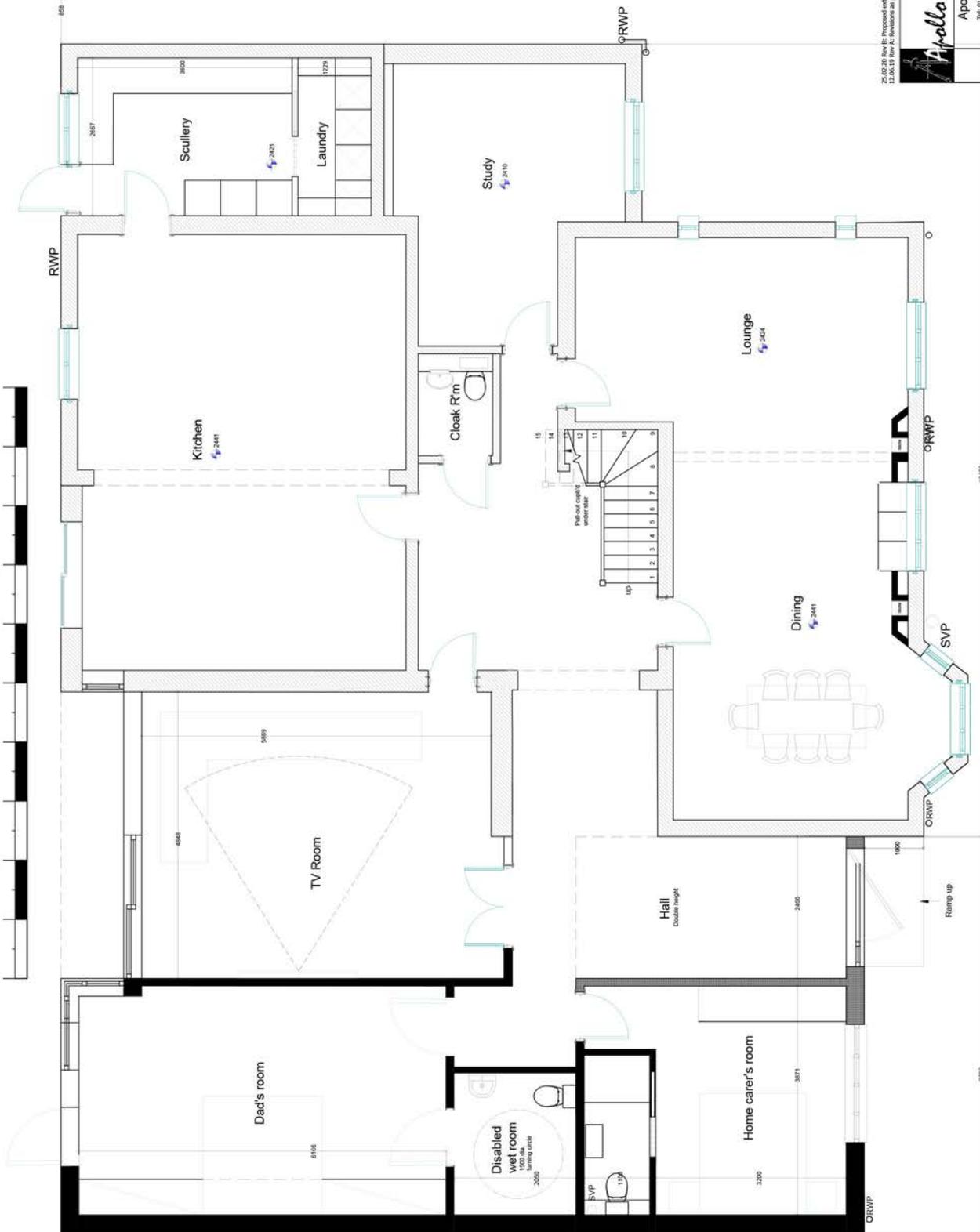
Apollo
 Apollo Architectural Services
 Tel: 01222 841 917 Fax: 01222 402090
 52, Colville Road, Northwood, Middlesex HA8 3QP
 Location plan, site plan & tree survey
 17 WOODSIDE ROAD, NORTHWOOD HA8 3QE
 20.05.19
 Scale
 Drawn by
 Christopher Harris Dorset, U.K.
 Drawing No
 601.102-05 Rev. © Copyright





1:200 Block plan showing first floor plan

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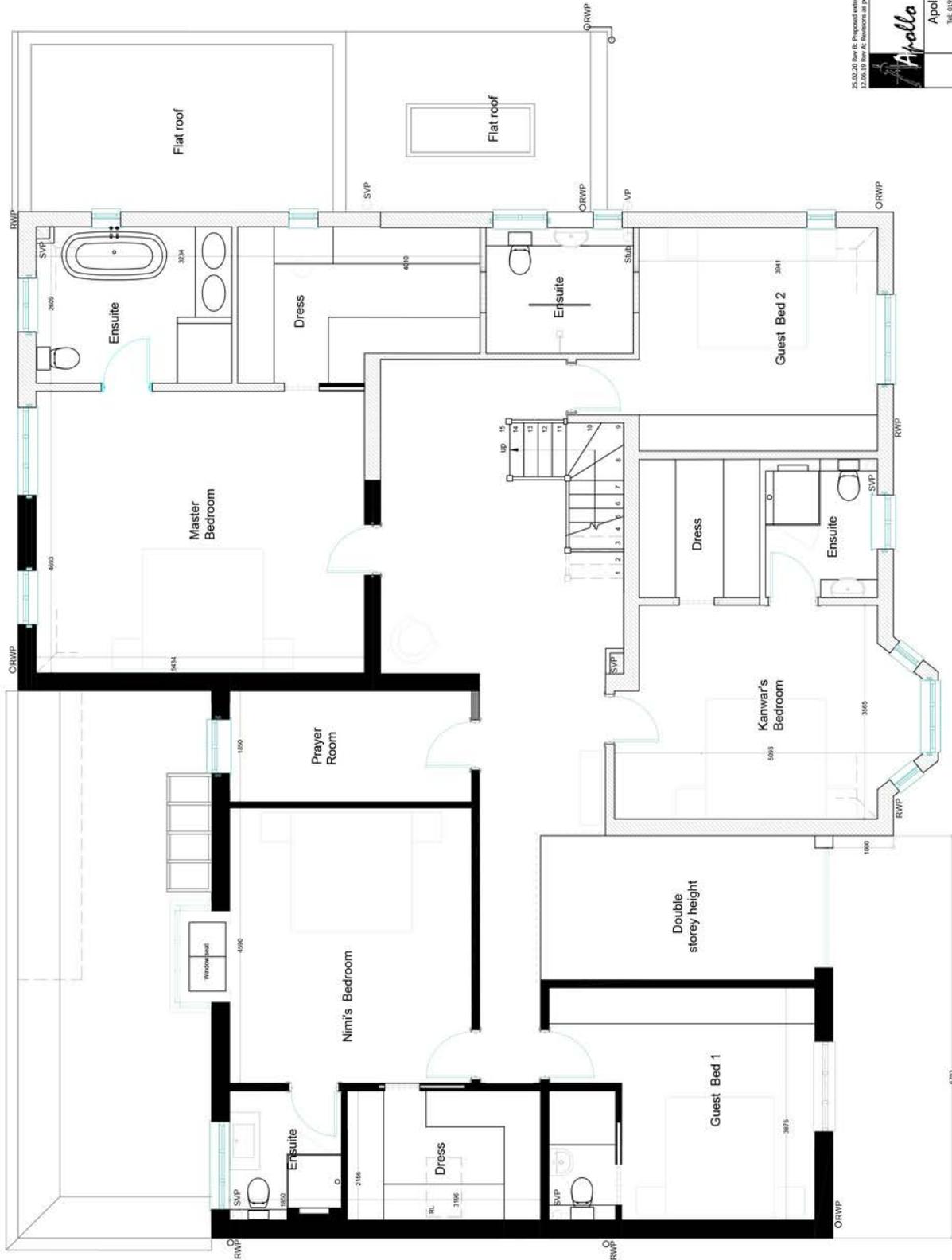
25.02.20 Rev B: Proposed extension shown as half width of existing house width
 12.06.19 Rev A: Invisions as per meeting of 11.09



Apollo Architectural Services Tel: 01923 841 937 - Mob: 07820547650 25, Gifford Road, Northwood, Herts SG8 5XP 17 WOODSIDE ROAD, NORTHWOOD HAV 3QE Mr T Grayson	
Title	29.03.19
Date	29.03.19
Drawn by	Christopher J Harris
Drawn No	601.102-11
Rev. B	© Copyright

1:50 Proposed Ground Floor Plan

DO NOT SCALE IF IN DOUBT, CONTACT ARCHITECT



25.02.20 Rev B: Proposed extensions shown in half width of existing house width
 23.06.19 Rev A: Extensions as per meeting of 11.09.18 RWP's added.



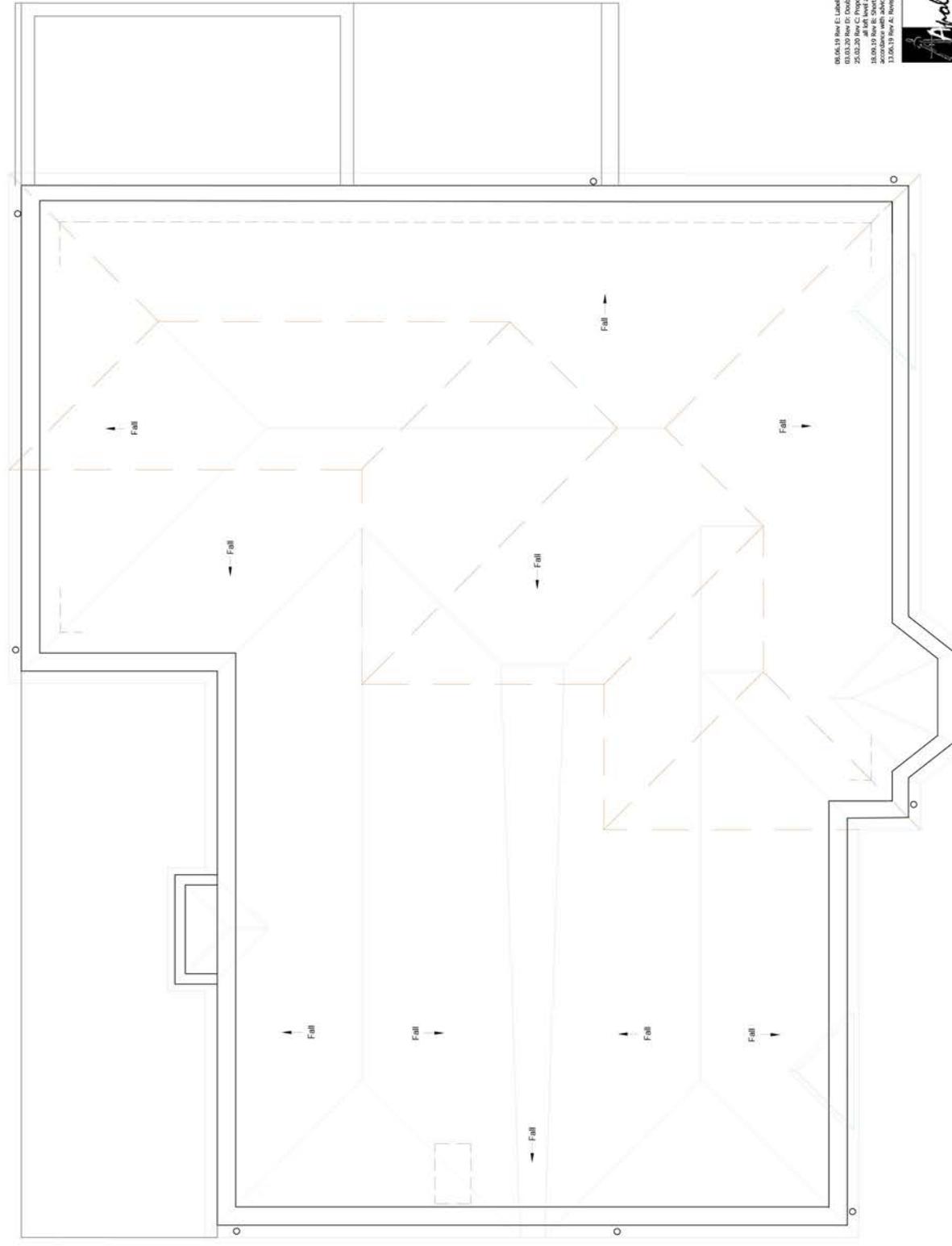
Apollo Architectural Services	
TEL: 01923 841 937 FAX: 01923 647650	
25 GARDEN ROAD, NORTHWOOD, HERTS AL9 9XP	
17 WOODSIDE ROAD, NORTHWOOD HAVING	
Mr T Grayson	
Date:	10.06.19
Drawn by:	Mr T Grayson
Checked by:	Mr T Grayson
Drawn No:	601.102-12A
Rev. B	© Copyright

1:50 Proposed First Floor Plan

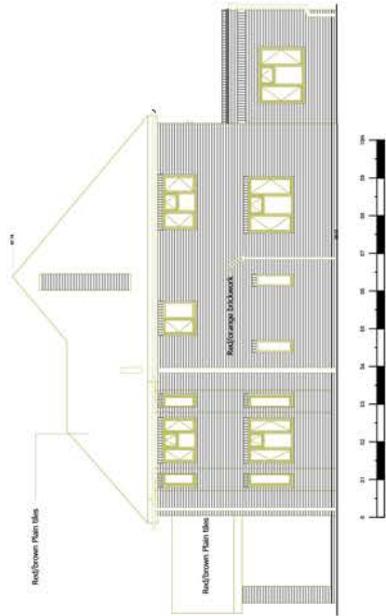
DO NOT SCALE IF IN DOUBT, CONTACT ARCHITECT

08.04.19 Rev. C: Loading amended.
03.03.20 Rev. D: Double-skin south roof profile inserted to eliminate crown roof.
25.02.20 Rev. C: Proposed extension shown as half width of existing house width.
18.09.19 All lift level recommendations considered. Proposed extension added to north attached roof in accordance with advice received at pre-app meeting of same date.
13.06.19 Rev. A: Revisions as per meeting of 11.06.

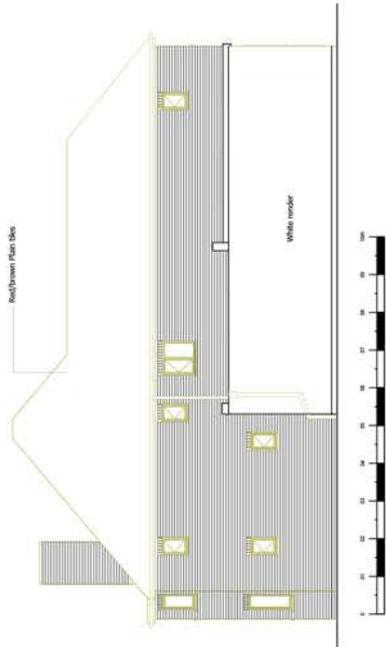
Apollo	
Apollo Architectural Services	
Tel: 01823 841 937 Fax: 01823 647050	
25, Gables Road, Northwood, Herts SG8 5XP	
E: enquiries@apolloarchitects.co.uk	
17 WOODSIDE ROAD, NORTHWOOD Herts SG8 5XE	
Mr T Graywell	
Date:	11.06.19
Drawn by:	Chris
Checked by:	Christopher J Harris Dip Arch, B.A.
Drawn No:	601.1.102-13
Drawn by:	Rev. C
Drawn No:	© Copyright



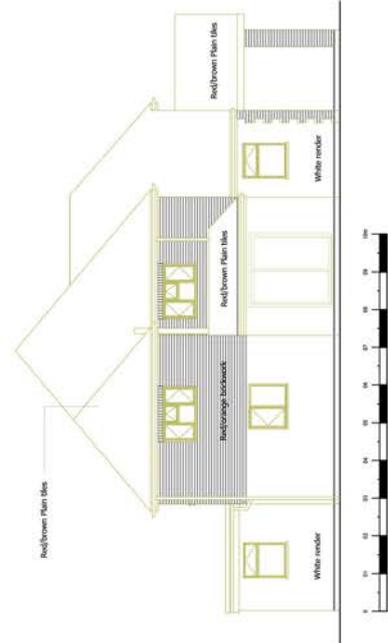
1:50 Proposed Roof Plan



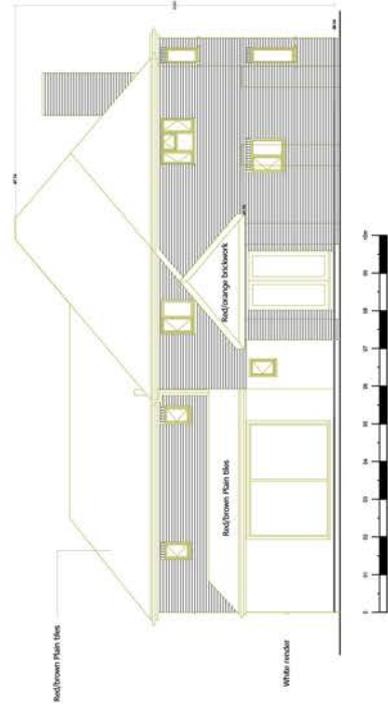
Existing Front Elevation



Existing Side Elevation



Existing Rear Elevation

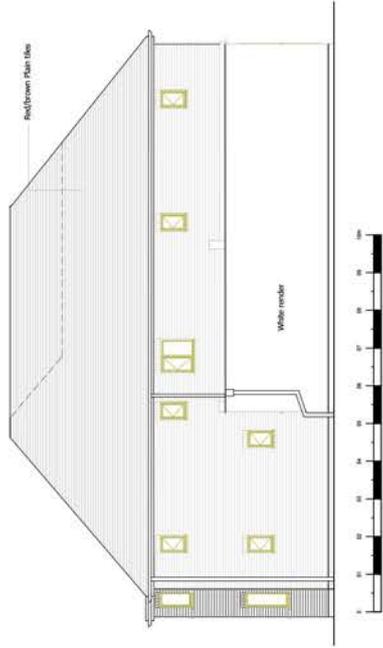


Existing Side Elevation

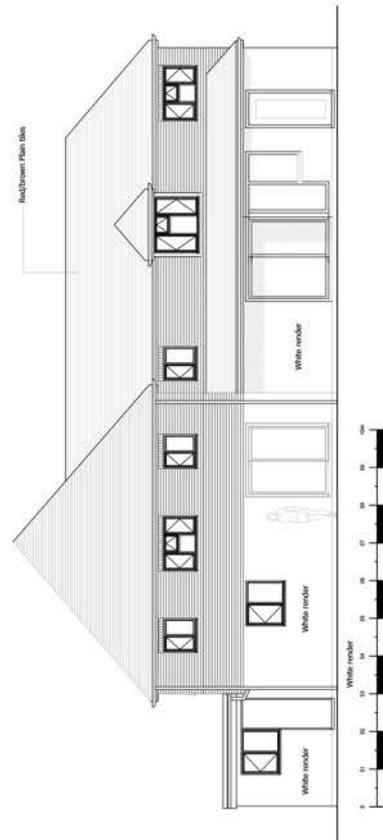
Apollo
Apollo Architectural Services
Tel: 01923 841 937 Mob: 07825647090
57 Canfield Road, Northwood, Middlesex HA6 2QP
EXISTING ELEVATIONS
15,06.19
1:100 @ A2
Drawing by: Christopher Harris, 09/4/08, E.A.
Drawing No: **601.102-03** No. © Copyright



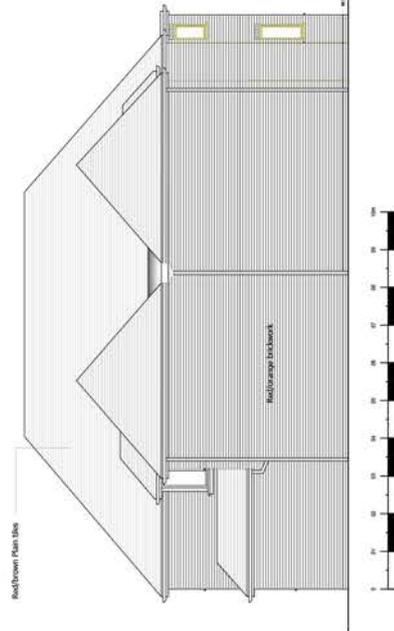
Proposed Front Elevation



Proposed Side Elevation



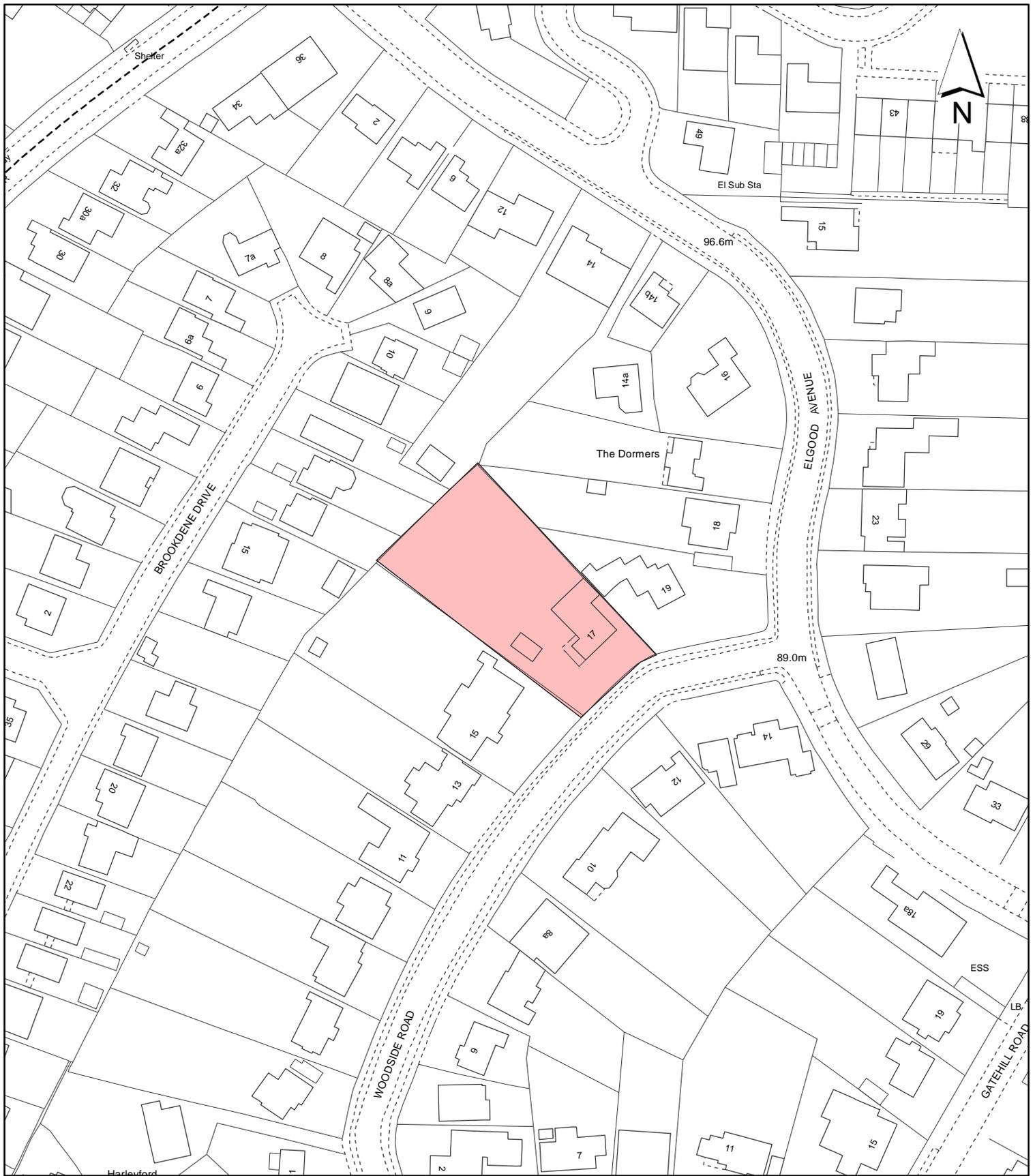
Proposed Rear Elevation



Proposed Side Elevation

Note: To take location attached drawing drawing rooms below at first floor level 00.00 to 00.00 m. Proposed extension shown at half width of existing house width; 25.00 to 25.00 m. Proposed extension shown at half width of existing house width; all lift accommodations omitted; roof of extension set down to 18.00 m level A. Short section of crown roof added to main pitched roof, in accordance with advice received at pre-app meeting of same date.

Apollo
Apollo Architectural Services
 Tel: 01923 841 937 Fax: 01923 647090
 57 Central Road, Northwood, Middlesex HA6 2QP
 PROPOSED ELEVATIONS
 PROJECT NO: 1001, NORTHWOOD 1465 20E
 Mr T Campbell
 Date: 10.06.19
 Scale: 1:100 @ A2
 Drawn by: Christopher Harris, 09/4/19, E.A.
 Drawing No: **601.102-14** No. 0
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Site Address:

**17 Woodside Road
 Northwood**

Planning Application Ref:

29754/APP/2019/3994

Scale:

1:1,250

Planning Committee:

North Page 228

Date:

June 2020

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111



HILLINGDON
 LONDON

Report of the Head of Planning, Transportation and Regeneration

Address LAND AT GARAGE BLOCK SOUTHBOURNE GARDENS RUISLIP
Development: Four storey building comprising 8 x 2 Bedroom flats with associated car and cycle parking and amenity space involving demolition of existing garages.
LBH Ref Nos: 72211/APP/2020/480

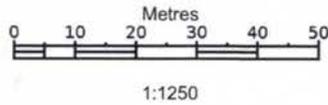
Date Plans Received: 12/02/2020
Date Application Valid: 18/03/2020

Date(s) of Amendment(s):



Produced 18 Mar 2020 from the Ordnance Survey MasterMap (Topography) Database and incorporating surveyed revision available at this date.

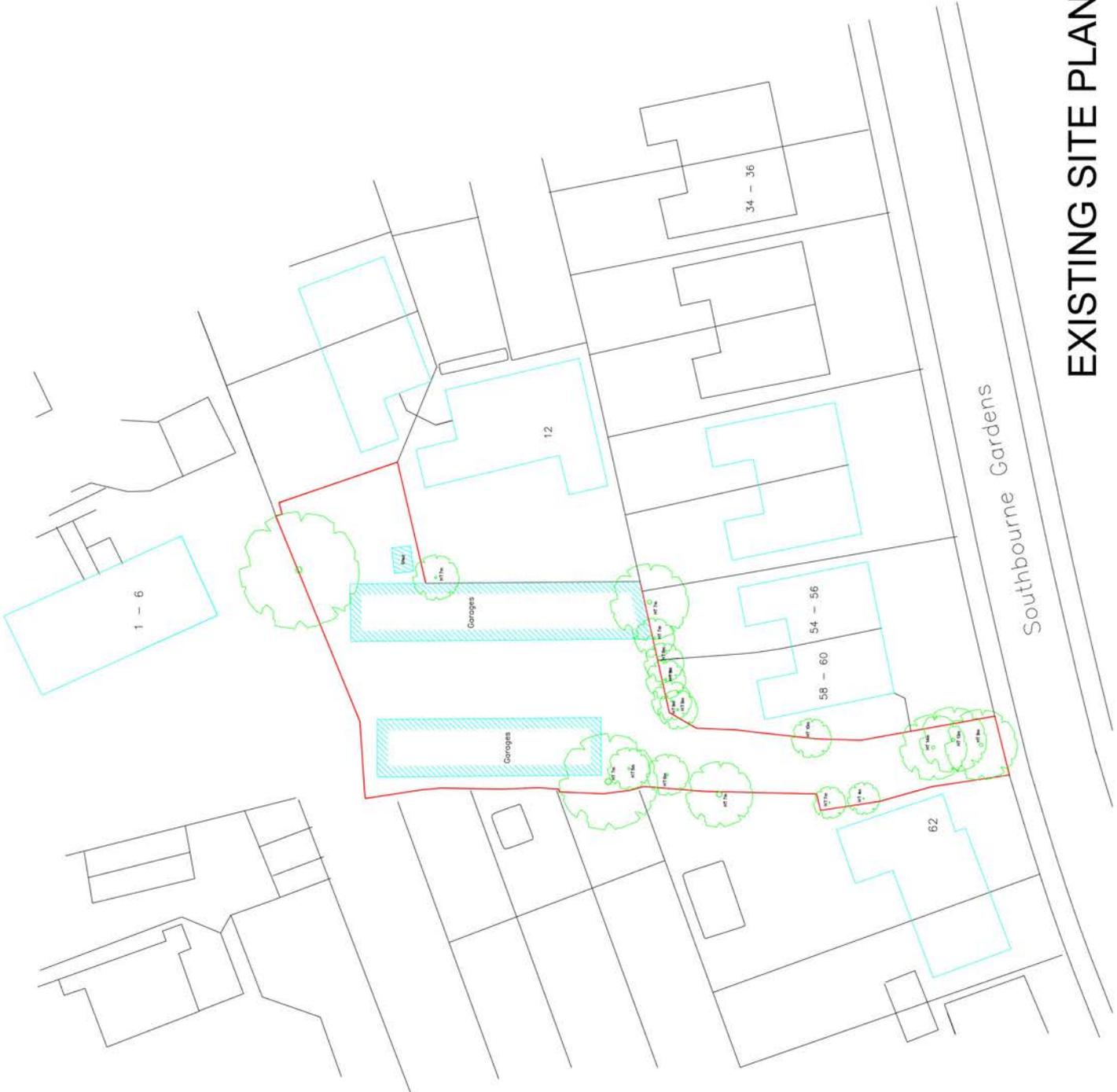
The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.



Garages Site

Southbourne Gardens, Ruislip
HA4 9SW

Supplied by: **Stanfords 18 Mar 2020**
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Order Licence Reference: OI1388673
Centre coordinates: 511112 187339



1:200 @ A1

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- Contractor to inform MJD Architecture of any discrepancies found on this drawing and obtain written consent for any subsequent variation.
- No responsibility is accepted by MJD Architecture for any consequences arising from unintentional mistakes on this drawing.
- MJD Architecture accepts no responsibility for any injury or liability arising from the building. Please refer to structural drawings and calculations for all structural design.

Revision	Date	Description
		m.j.d. architecture DESIGN WITH A PLAN 2A Albany Park, Swindon Wiltshire, GTS-102J Tel: 0120 8571 5987 Fax: 0120 8574 5266
Name Landmark Builders Ltd.		
Site Garages Site, Southbourne Gardens Ruislip HA4 9SW		
Title Existing Site Plan		
Scale 1:200	Date Feb. 2020	
on A1 paper		Rev.
Dwg No. 1547.A1.PL01		

EXISTING SITE PLAN



Scale Bar
 1 2 3 4 5 6 7 8 9 10 Metres

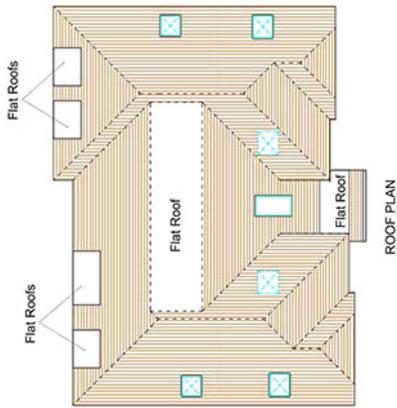
1:200 @ A1

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- No responsibility is accepted by MJD Architecture for any consequences arising from unintentional mistakes on this drawing.
- MJD Architecture accepts no responsibility for the structural integrity or stability of the building. Please refer to structural engineer's drawings and calculations for all structural design.

Revision	Date	Description
		m. j. d. architecture 1547 A1 PL02 1547 A1 PL02 MJD@MJD.CO.UK Tel: 0120 8571 5997 Fax: 0120 8571 2266
Name Landmark Builders Ltd.		
Site Garages Site, Southbourne Gardens Ruislip HA4 9SW		
Title Proposed Site Plan		
Scale 1:200 on A1 paper	Date Feb. 2020	Rev. A
Drawing No. 1547.A1.PL02		

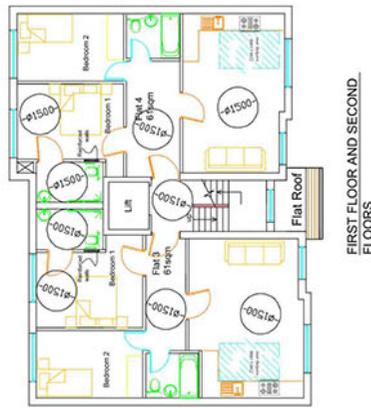
PROPOSED SITE PLAN



ROOF PLAN



LOFT PLAN



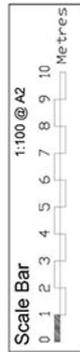
FIRST FLOOR AND SECOND FLOORS

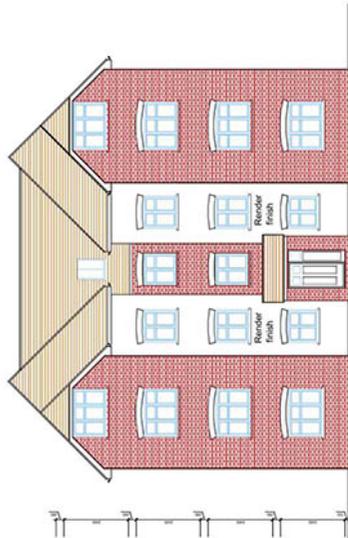


GROUND FLOOR

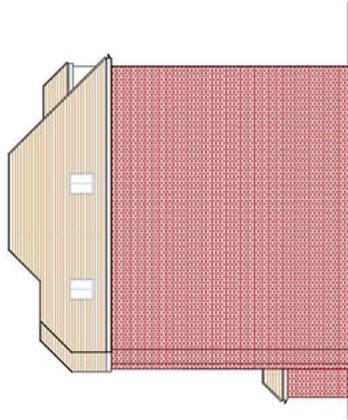
Notes:
 Do not scale this drawing.
 All dimensions are to be taken from the drawing and belong to MJD Architecture.
 No copying is permitted without the written consent of the company.
 Contractor to inform MJD Architecture of any changes to the drawing and obtain written consent for any subsequent variation.
 No responsibility is accepted by MJD Architecture for any errors or omissions arising from unauthorised mistakes on this drawing.
 MJD Architecture accepts no responsibility for any errors or omissions arising from unauthorised mistakes on this drawing.
 Please refer to structural engineer's drawings and calculations for all structural design.

Firm	MJD ARCHITECTURE
Address	1547 A2 FLOORS
City	London
Country	UK
Phone	020 8996 2121
Mobile	07733 19977
Website	www.mjdarch.co.uk
Project Name	Landmark Builders Ltd
Site	Garages SW, Sourbourne Gardens Ruislip HA4 6SW
Title	Proposed Floor and Roof Plans
Scale	1:100
Date	Feb. 2020
Sheet No.	1547 A2 FLOORS
Sheet Total	A

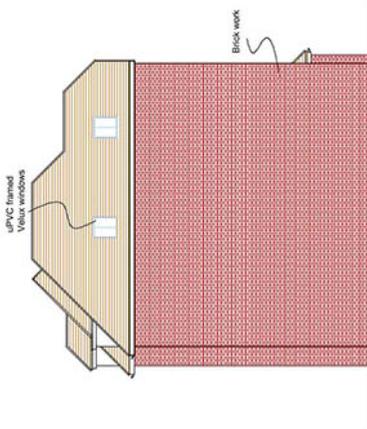




SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

Notes:

Do not scale this drawing
 All dimensions shown on this drawing
 belong to MJD Architecture.
 No copying is permitted
 without the written consent
 of the company.

Consent to inform MJD Architecture
 drawing and obtain written consent for
 any subsequent variations.

No responsibility is accepted by
 MJD Architecture for any inaccuracies
 arising from unintentional mistakes
 on this drawing.

MJD Architecture accepts no responsibility
 for any structural or other failures.
 Please refer to structural engineer's drawings
 and calculations for all structural design.

Client	Landmark Builders Ltd.
Project	Garages SW, Southbourne Gardens Ruslip HA1 5SW
Scale	1:100
Date	Feb. 2020
Sheet	on A2 paper
Ref	1547_A2_P1.06
Rev	A



Notes:

 Site boundary

For identification purposes only.
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Site Address:

**Land at garage block
 Southbourne Gardens
 Ruislip**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

72211/APP/2020/480

Scale:

1:1,250

Planning Committee:

North Page 235

Date:

June 2020



HILLINGDON
 LONDON

Report of the Head of Planning, Transportation and Regeneration

Address HUME WAY RUISLIP

Development: Installation of a 20m monopole, 12 x antenna apertures, equipment cabinets, the removal of the existing 13.7m monopole, 3 x antennas, redundant equipment cabinets and development ancillary thereto.

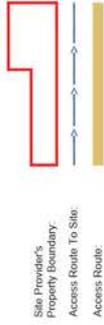
LBH Ref Nos: 54873/APP/2020/721

Date Plans Received: 28/02/2020

Date(s) of Amendment(s): 03/03/2020

Date Application Valid: 15/04/2020

NOTES:
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.
 DIRECTIONS TO SITE:
 FROM THE A4180 RUISLIP, TAKE THE B406 TOWARDS EASTCOTE.
 HUME WAY IS LOCATED ON THE RIGHT HAND SIDE AFTER ABOUT
 HALF A MILE, ADJACENT TO A SCHOOL AND LEISURE CENTRE.



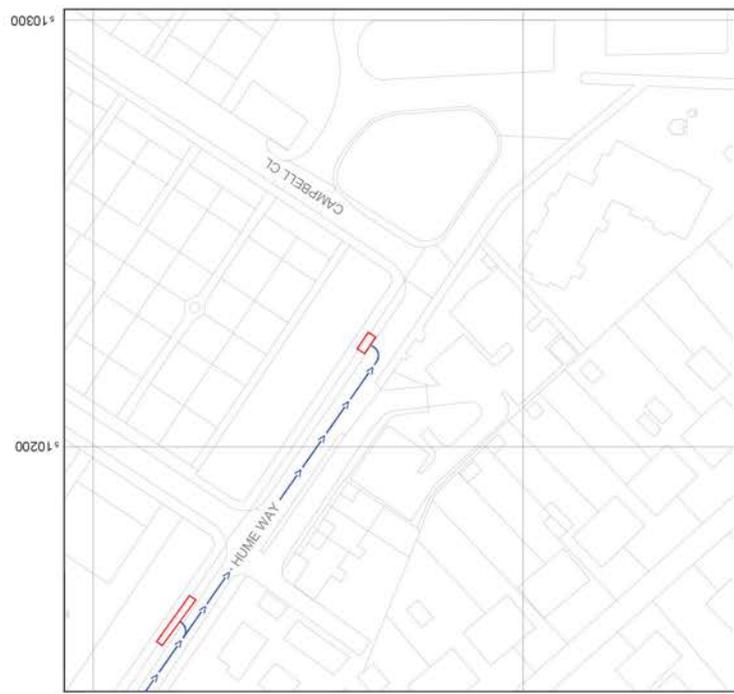
Revision	MBNL / E.E. / T&A	Project	Function of Issue	Issue
M003	MBNL	T&A	Planning	C
Revision 1 Upgrade Description: Amends to site topography				
Author: K. Syger Checked: M. Vercoe				
M002	MBNL	T&A	Planning	B
Revision 1 Upgrade Description: Site Location Change				
Author: K. Nareys Checked: M. Vercoe				
M001	MBNL	T&A	Planning	A
Revision 1 Upgrade Description: First Issue				
Author: R. Mansfield Checked: M. Vercoe				

MBNL
 Mobile Broadband Network Limited
 South Point, Thames Tower, Station Road, Reading, RG1 1LX
 Tel: 01222 716000
 Fax: 01222 719001

EE
 Vodafone Business Park
 Hatfield
 Hertfordshire
 AL10 9BB
 Tel: 01727 716000
 Fax: 01727 719001

BEACONCOMMS
 UNIT 11 PITS CLEAVE INDUSTRIAL ESTATE TAVSTOCK, DEVON, PL19 9PW
 sales@beaconcomms.co.uk
 Tel: +44 (0)1823 610610

Site Name:	HUME WAY
Site ID:	732715
Address:	HUME WAY RUISLIP HILLINGDON LONDON HA4 8DY
Form:	002 SITE LOCATION PLAN
Project:	T & A
Purpose of Issue:	GENERAL ARRANGEMENT
EE CRD ID:	70284
MBNL CRD ID:	HGN032
BULK CRD ID:	HA0072
Master Drawing No:	732715_HGN032_70284_HA0072_M003
Issue:	C



Existing: NGR E: 510224 N: 188036
 Proposed: NGR E: 510152 N: 188088

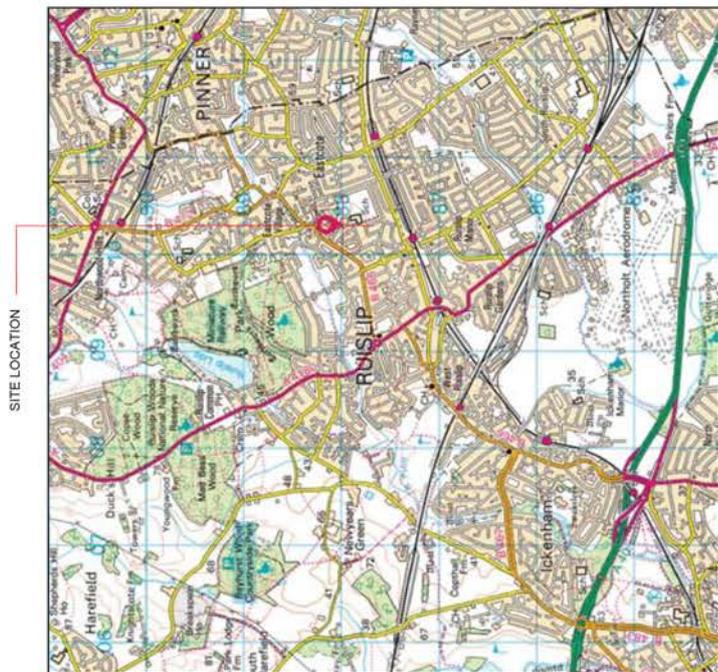
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GOOGLE MAPS QR CODE

GOOGLE MAPS - <https://goo.gl/maps/prVgtsfuhA7Dxxo7A>

GOOGLE STREETVIEW - <https://goo.gl/maps/eTUTM5kjFzj9uuDYA>



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SITE PHOTOGRAPH



NOTE:
 EXISTING SINGLE PHASE 100A SUPPLY TO BE UPGRADED TO 3 PHASE 100A SUPPLY WITHIN MK5 CABINET. EXISTING BT & TX EQUIPMENT TO BE RELOCATED WITHIN MK5 CABINET

Address ID	Proposed Aperture	Operator	Shared	Beam	EE/HSG
A1	0"	HOG			EE/HSG
A2	0"	EE			EE
A3	0"	EE/HSG			EE/HSG
A4	0"	EE/HSG			EE/HSG
B1	100"	HOG			HOG
B2	100"	EE			EE
B3	100"	EE/HSG			EE/HSG
B4	100"	EE/HSG			EE/HSG
C1	240"	HOG			HOG
C2	240"	EE			EE
C3	240"	EE/HSG			EE/HSG
C4	240"	EE/HSG			EE/HSG

NOTES:
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED

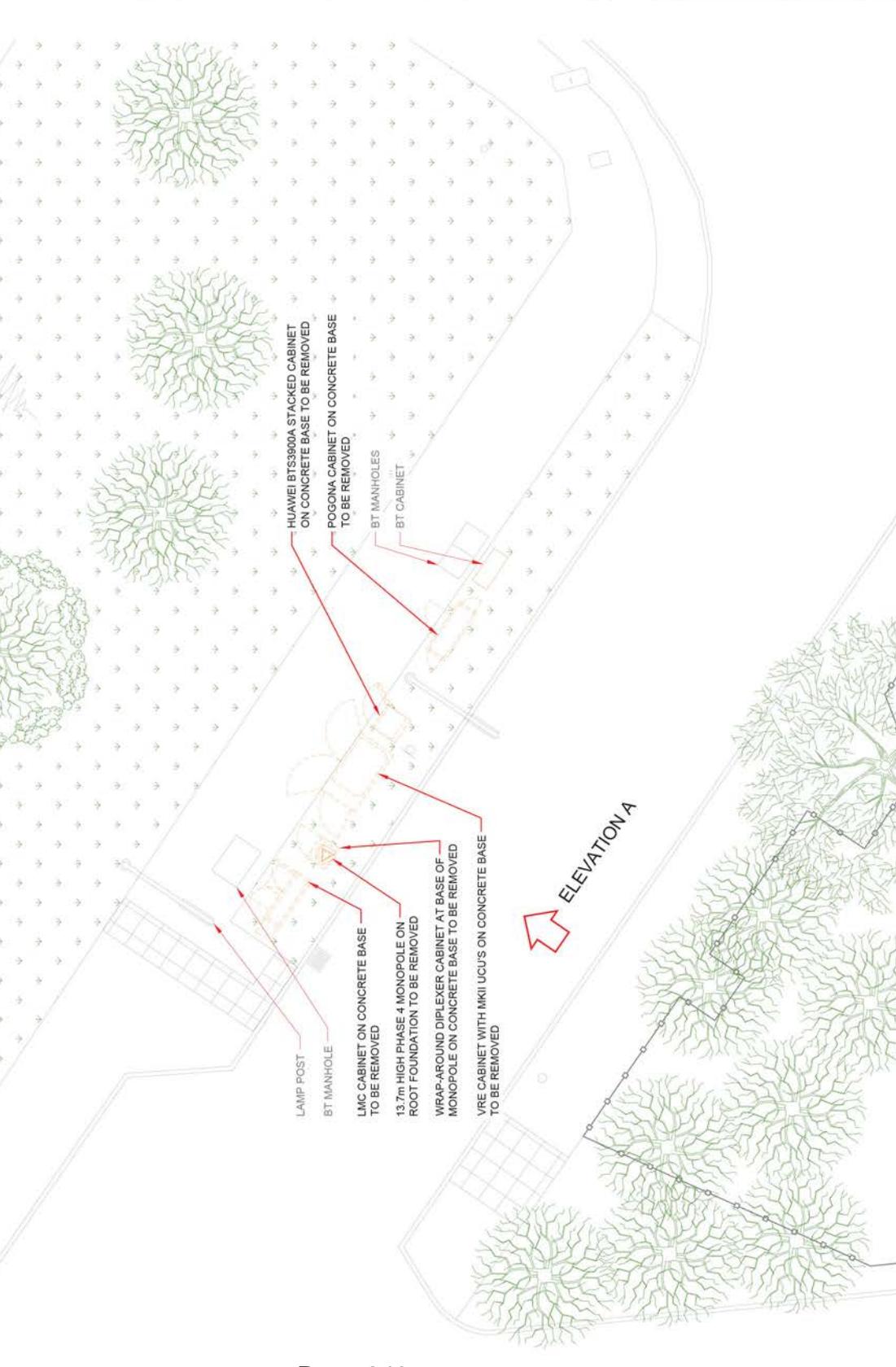
Revision	Date	By	Checked	Approved	Project	Purpose of Issue	Issue
M003	14/04/2020	K. Syger		M. Verpeck	T&A	Planning	C
Revisions / Upgrade Descriptions: Amends to site topography.							
M002	21/02/2020	K. Noreen		M. Verpeck	T&A	Planning	B
Revisions / Upgrade Descriptions: Site Location Change							
M001	01/05/2019	R. Mardandan		M. Verpeck	T&A	Planning	A
Revisions / Upgrade Descriptions: First Issue							

Hillfield Business Park
 Hillfield
 Hillfield
 AL10 9BW
 Tel: 01753 316000
 Fax: 01753 319001

Beaconcomms
 Mobile Broadband Network Limited
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BEACONCOMMS
 UNIT 11 PITS CLAY INDUSTRIAL ESTATE TAVISTOCK DEVON PL19 9PW
 sales@beaconcomms.co.uk Tel: +44 (0)1823 610610

Site Name:	HUME WAY
Site ID:	732715
Address:	HUME WAY RUISLIP HILLINGDON LONDON HA4 8DY
Project:	215 MAX CONFIGURATION SITE PLAN - SHEET 1
Purpose of Issue:	T & A
EE CR ID:	70284
MBNL CR ID:	HGN032
BLK CR ID:	HA0072
Master Drawing No.:	732715_HGN032_70284_HA0072_M003
Issue:	C



SITE CAPACITY & LEAD OPERATOR			
Operator	Capacity	Lead	HSG
A	HSE	HSE	HSE
B	HSE	HSE	HSE
C	HSE	HSE	HSE
Lead	HSE	HSE	HSE

Project:	215 MAX CONFIGURATION SITE PLAN - SHEET 1
Purpose of Issue:	T & A
EE CR ID:	70284
MBNL CR ID:	HGN032
BLK CR ID:	HA0072
Master Drawing No.:	732715_HGN032_70284_HA0072_M003
Issue:	C



NOTE:
 EXISTING SINGLE PHASE 100A SUPPLY TO BE UPGRADED TO 3 PHASE 100A SUPPLY WITHIN MK5 CABINET. EXISTING BT & TX EQUIPMENT TO BE RELOCATED WITHIN MK5 CABINET

BT TELEGRAPH POLE

LAMP POST

PROPOSED PAVING SLABS INSTALLED AT FOOT OF CABINET DOORS ON GRASS AREA FOR HEALTH AND SAFETY OF WORKERS ON SITE

PROPOSED 1No. MK5 LINK AC CABINET TO BE INSTALLED ON PROPOSED ROOT FOUNDATION

PROPOSED 1No. POGONA CABINET TO BE INSTALLED ON PROPOSED ROOT FOUNDATION

PROPOSED 1No. APMS680 CABINET TO BE INSTALLED ON PROPOSED ROOT FOUNDATION

PROPOSED 2No. HUAWEI CABINETS TO BE INSTALLED ON PROPOSED ROOT FOUNDATION

PROPOSED 12No. ANTENNA APERTURES TO BE INSTALLED ON PROPOSED STREETWORKS MONOPOLE

PROPOSED 20m HIGH STREETWORKS MONOPOLE TO BE INSTALLED APPROXIMATELY 85.5m FROM THE EXISTING LOCATION AT NGR E: 510152 N: 1889088

PROPOSED DIPLEXER CABINET TO BE INSTALLED ON PROPOSED ROOT FOUNDATION

PROPOSED 1No. HUAWEI CABINET TO BE INSTALLED ON PROPOSED ROOT FOUNDATION

PROPOSED 1No. WILTSHIRE CABINET TO BE INSTALLED ON PROPOSED ROOT FOUNDATION

ELEVATION A

HUME WAY

Address Aperture ID	Operator	4G/5G	Shared	Beam	Height
A1	0"	HOG	EE	EEHOG	
A2	0"	EE		EEHOG	
A3	0"	EEHOG		EEHOG	
A4	0"	EEHOG		EEHOG	
B1	120"	HOG		EEHOG	
B2	120"	EE		EEHOG	
B3	120"	EEHOG		EEHOG	
B4	120"	EEHOG		EEHOG	
C1	240"	HOG		EEHOG	
C2	240"	EE		EEHOG	
C3	240"	EEHOG		EEHOG	
C4	240"	EEHOG		EEHOG	

NOTES:
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

Revision	MBNL / E.E. / HOG	Project	Purpose of Issue
M003	MBNL	T&A	Planning
14/04/2020	K. Sygar	Amends to site topography	
Approved	M. Viree		

Revision	MBNL / E.E. / HOG	Project	Purpose of Issue
M002	MBNL	T&A	Planning
21/02/2020	K. Navern	Site Location Change	
Approved	M. Viree		

Revision	MBNL / E.E. / HOG	Project	Purpose of Issue
M001	MBNL	T&A	Planning
01/09/2019	R. Mahabadi	First Issue	
Approved	M. Viree		



Network 33 UK Limited
 2nd Floor, 20 Deodar Road,
 London SW15 2NU
 Tel: 0202 731000
 Fax: 0202 731001

Network 33 UK Limited
 2nd Floor, 20 Deodar Road,
 London SW15 2NU
 Tel: 0202 731000
 Fax: 0202 731001

MBNL
 Mobile Broadband Network Limited
 5th Floor, 100 Broad Street, Reading, RG1 1JX



Site Name: HUME WAY
 Site ID: 732715
 Address: HUME WAY, RUISLIP, HILLINGDON, LONDON HA4 8DY

Project: 216 MAX CONFIGURATION SITE PLAN - SHEET 2
 T & A

Purpose of Issue: GENERAL ARRANGEMENT

EE CR ID:	70284	MBNL CR ID:	HGN032	BLK CR ID:	HA0072
Master Drawing No:	732715_HGN032_70284_HA0072_M003				
Issue:	C				

SITE CAPACITY & LEAD OPERATOR			
A	B	C	LEAD
HSE	HSE	HSE	HOG

PROPOSED MAX CONFIGURATION SITE PLAN



Scale	0°
uA1	0°
uB1	120°
uC1	240°

NOTES:

1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

Number	MBNL / E.E. / 11202	Project	T&A	Phase of Issue	Planning	Issue	C
Date	14/04/2020	Revision / Upgrade Description	Amends to site topography.				
Drawn	K. Sygar	Checked	M. Verwood				
Approved	M. Verwood						
Number	MBNL / E.E. / 11202	Project	T&A	Phase of Issue	Planning	Issue	B
Date	21/02/2020	Revision / Upgrade Description	Site Location Change				
Drawn	K. Noreen	Checked	M. Verwood				
Approved	M. Verwood						
Number	MBNL / E.E. / 11202	Project	T&A	Phase of Issue	Planning	Issue	A
Date	01/05/2019	Revision / Upgrade Description	First Issue				
Drawn	R. Manandandan	Checked	M. Verwood				
Approved	M. Verwood						

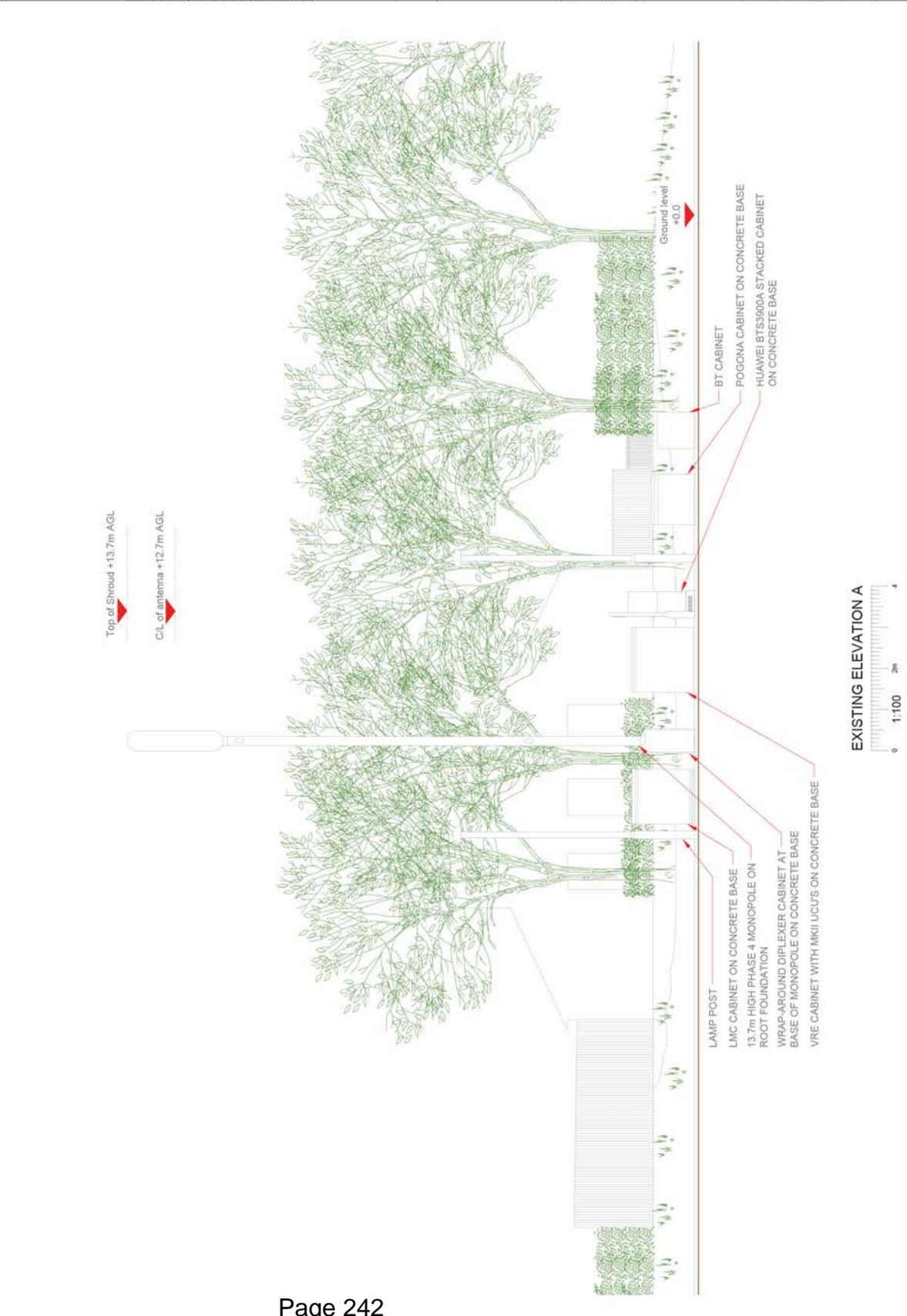
MBNL Mobile Broadband Network Limited
 5th Floor, Business Tower, Station Road, Reading, RG1 1UX

EE Hutchison 3G UK Limited
 1st Floor, 20 Great Court
 100 Brook Street, London
 W1A 0AE, UK
 Tel: 020 7192 9000
 Fax: 020 7192 9001
 www.ee.co.uk

BEACONCOMMS Hertsford Business Park
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 Hertfordshire
 AL10 1BBW
 Tel: 01763 216000
 Fax: 01763 216001
 sales@beaconcomms.co.uk

BEACONCOMMS
 UNIT 11 PITS CLAYE INDUSTRIAL ESTATE TAYSTOCK ENCHE, PL19 0PW
 sales@beaconcomms.co.uk
 Tel: +44 (0)1823 610610

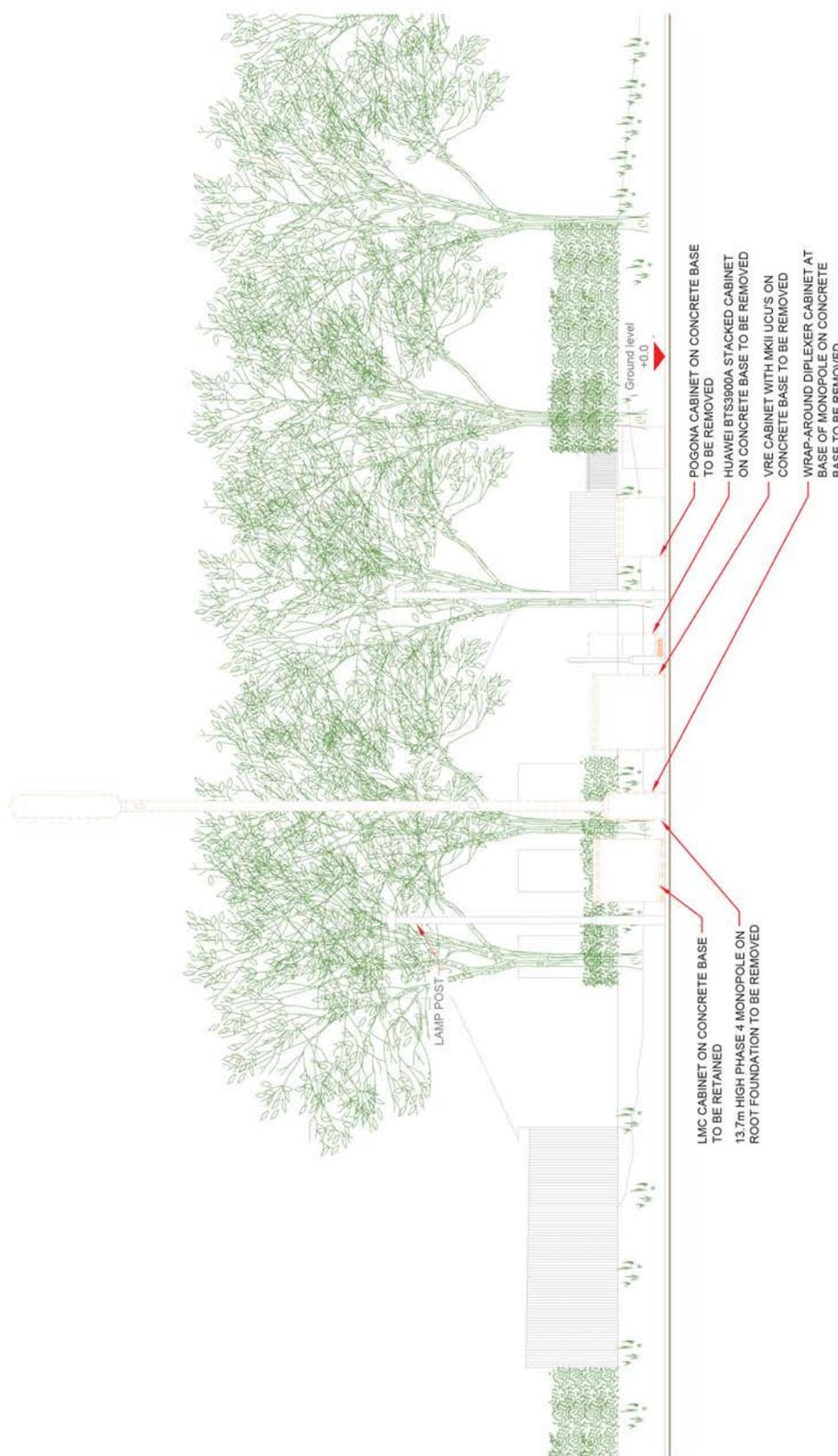
Site Name:	HUME WAY
Site ID:	732715
Address:	HUME WAY RUISLIP HILLINGDON LONDON HA4 8DY
Task:	150 EXISTING ELEVATION A
Project:	T & A
Purpose of Issue:	GENERAL ARRANGEMENT
EE CR ID:	70284
MBNL CR ID:	HGN032
BUK CR ID:	HA0072
Master Drawing No:	732715_HGN032_70284_HA0072_M003
Issue:	C



NOTE:
 EXISTING SINGLE PHASE 100A SUPPLY TO BE UPGRADED TO 3 PHASE 100A SUPPLY WITHIN MK5 CABINET. EXISTING BT & TX EQUIPMENT TO BE RELOCATED WITHIN MK5 CABINET

Address ID	Proposed Aperture	Operator	4G/5G	Shared	Beam	Height
A1	0"	HGG	EE	EE	EE	HGG
A2	0"	EE	EE	EE	EE	EE
A3	0"	EE	EE	EE	EE	EE
A4	0"	EE	EE	EE	EE	EE
B1	100"	HGG	EE	EE	EE	HGG
B2	100"	EE	EE	EE	EE	EE
B3	100"	EE	EE	EE	EE	EE
B4	100"	EE	EE	EE	EE	EE
C1	240"	HGG	EE	EE	EE	HGG
C2	240"	EE	EE	EE	EE	EE
C3	240"	EE	EE	EE	EE	EE
C4	240"	EE	EE	EE	EE	EE

NOTES:
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED



- POGONA CABINET ON CONCRETE BASE TO BE REMOVED
- HUAWEI BTS3900A STACKED CABINET ON CONCRETE BASE TO BE REMOVED
- VRE CABINET WITH MKII UCU'S ON CONCRETE BASE TO BE REMOVED
- WRAP-AROUND DIPLERXER CABINET AT BASE OF MONOPOLE ON CONCRETE BASE TO BE REMOVED

LMC CABINET ON CONCRETE BASE TO BE RETAINED
 13.7m HIGH PHASE 4 MONOPOLE ON ROOT FOUNDATION TO BE REMOVED

PROPOSED MAX CONFIGURATION ELEVATION



SITE CAPACITY & LEAD OPERATOR			
A	B	C	LEAD
HSG	HSG	HSG	HSG

Number	MBNL / EE / T&A	Project	Phase of Issue	Issue
M003	MBNL	T&A	Planning	C
Date:	14/04/2020	Revision / Upgrade Description:		
Drawn:	K. Sygar	Amends to site topography		
Checked:	M. Verwood			
Approved:	M. Verwood			
M002	MBNL	T&A	Planning	B
Date:	21/02/2020	Revision / Upgrade Description:		
Drawn:	K. Noreen	Site Location Change		
Checked:	M. Verwood			
Approved:	M. Verwood			
M001	MBNL	T&A	Planning	A
Date:	01/05/2019	Revision / Upgrade Description:		
Drawn:	R. Marakandan	First Issue		
Checked:	M. Verwood			
Approved:	M. Verwood			

MBNL Mobile Broadband Network Limited
 5th Floor, Business Tower, Station Road, Reading, RG1 1UX

BEACONCOMMS
 UNIT 11 PTTI CLAVE INDUSTRIAL ESTATE TAVISTOCK DORSET PL19 9PW
 info@beaconcomms.co.uk Tel: +44 (0)1823 630410

Site Name: **HUME WAY**
 Site ID: **732715**
 Address: **HUME WAY
 RUISLIP
 HILLINGDON
 LONDON
 HA4 8DY**

Title: **265 MAX CONFIGURATION ELEVATION - SHEET 1**
 Project: **T & A**
 Purpose of Issue: **GENERAL ARRANGEMENT**

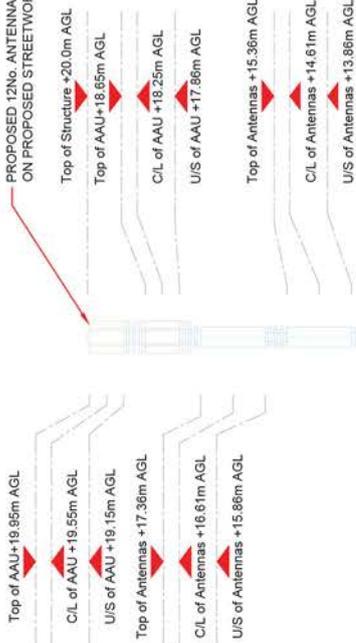
EE CR ID	MBNL CR ID	BUK CR ID
70284	HGN032	HA0072

Major Drawing No: 732715_HGN032_70284_HA0072_M003

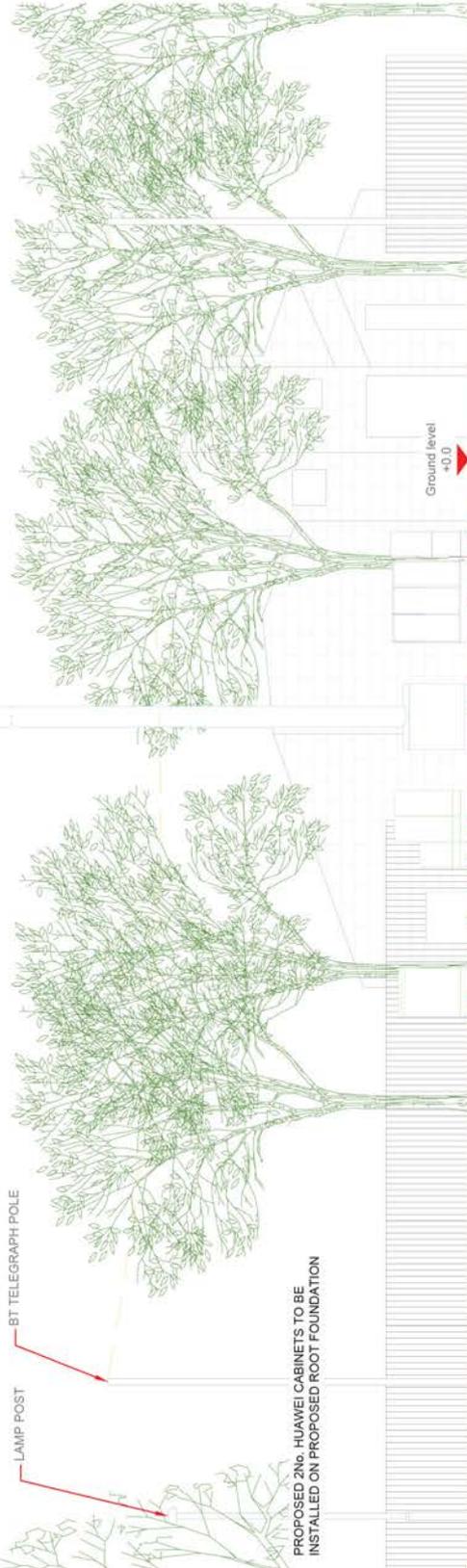
NOTE:
 EXISTING SINGLE PHASE 100A SUPPLY TO BE UPGRADED TO 3 PHASE 100A SUPPLY WITHIN MK5 CABINET. EXISTING BT & TX EQUIPMENT TO BE RELOCATED WITHIN MK5 CABINET

Address ID	Proposed Aperture	Operator	Shared	Aperture	Beam	Height
A1	0"	H3G	EE	EH3G		
A2	0"	EE				
A3	0"	EEH3G				
A4	0"	EEH3G				
B1	100"	H3G				
B2	100"	EE				
B3	100"	EEH3G				
B4	100"	EEH3G				
C1	240"	H3G				
C2	240"	EE				
C3	240"	EEH3G				
C4	240"	EEH3G				

PROPOSED 12No. ANTENNA APERTURES TO BE INSTALLED ON PROPOSED STREETWORKS MONOPOLE



PROPOSED 20m HIGH STREETWORKS MONOPOLE TO BE INSTALLED APPROXIMATELY 85.5m FROM THE EXISTING LOCATION AT NGR E: 510152 N: 188088



PROPOSED MAX CONFIGURATION ELEVATION



SITE CAPACITY & LEAD OPERATOR			
A	B	C	LEAD
H3G	H3G	H3G	H3G

NOTES:
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED

Number	MBNL / EE / T3G	Project	Purpose of Issue	Issue
M003	MBNL	T&A	Planning	C
Date:	14/04/2020	Revision / Upgrade Description:		
Drawn:	K. Sygar	Approved:		
Checked:	M. Verwood	Approved:		
M002	MBNL	T&A	Planning	B
Date:	21/02/2020	Revision / Upgrade Description:		
Drawn:	K. Naveny	Approved:		
Checked:	M. Verwood	Approved:		
M001	MBNL	T&A	Planning	A
Date:	01/05/2019	Revision / Upgrade Description:		
Drawn:	R. Marlandan	Approved:		
Checked:	M. Verwood	Approved:		

3

Nicholson NS UK Limited
 20, Seaward Road
 Hillside Industrial Estate
 Hillside, Huddersfield
 AL ID 883V
 Tel: 01484 798300
 Fax: 01484 798301
 100 East Street, Huddersfield
 Huddersfield, West Yorkshire, UK

MBNL
 Mobile Broadband Network Limited
 South Park, Business Tower, Station Road, Reading, RG1 1UX

EE
 Huddersfield Business Park
 Hillside
 Huddersfield
 AL ID 883V
 Tel: 01484 798300
 Fax: 01484 798301

BEACONCOMMS

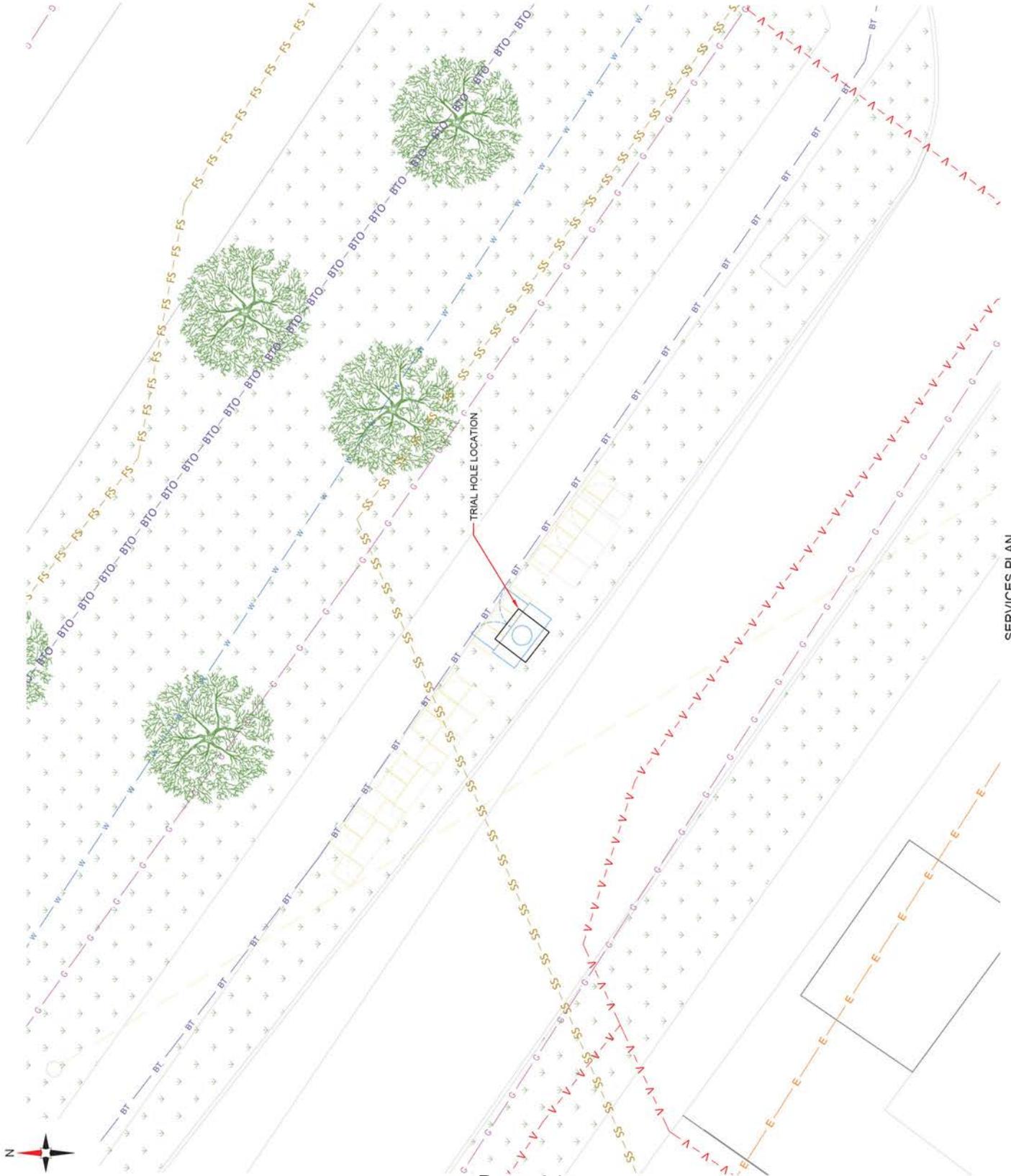
UNIT 11 PITS CLAYE INDUSTRIAL ESTATE TAUNSTOCK, DEVON PL19 8PW
 sales@beaconcomms.co.uk
 Tel: +44 (0)1823 630410

Site Name: HUME WAY
 Site ID: 732715
 Address: HUME WAY
 RUISLIP
 HILLINGDON
 LONDON
 HA4 8DY

266 MAX CONFIGURATION ELEVATION - SHEET 2
 Project: T & A
 Purpose of Issue: GENERAL ARRANGEMENT

EE CR ID	MBNL CR ID	3UK CR ID
70284	HGN032	HA0072

Master Drawing No: 732715_HGN032_70284_HA0072_M003
 Issue: C



NOTES:
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED

SERVICES:
 — BT — BT — BT — BT — BT —
 — BTO — BTO — BTO — BTO — BTO —
 — E — E — E — E — E —
 — G — G — G — G — G —
 — FS — FS — FS — FS — FS — FS —
 — SS — SS — SS — SS — SS — SS —
 — V — V — V — V — V — V —
 — W — W — W — W — W — W —

Number	MBNL / E.E. / 11/20	Project	Revision / Upgrade Description				
M003	MBNL	T&A	14/04/2020	K. Syger	M. Vercoe	Planning	C
Amends to site topography							
M002	MBNL	T&A	21/02/2020	K. Naven	M. Vercoe	Planning	B
Site Location Change							
M001	MBNL	T&A	01/05/2019	R. Marland	M. Vercoe	Planning	A
First Issue							

ACQ

Headless NS (UK) Limited
 20, Gower Road
 Harefield
 Hertfordshire
 AL10 9BB
 Tel: 01707 716000
 Fax: 01707 719001
 www.headlessns.com

MBNL
 Mobile Broadband Network Limited
 South Point, Thames Tower, Station Road, Reading, RG1 1LX

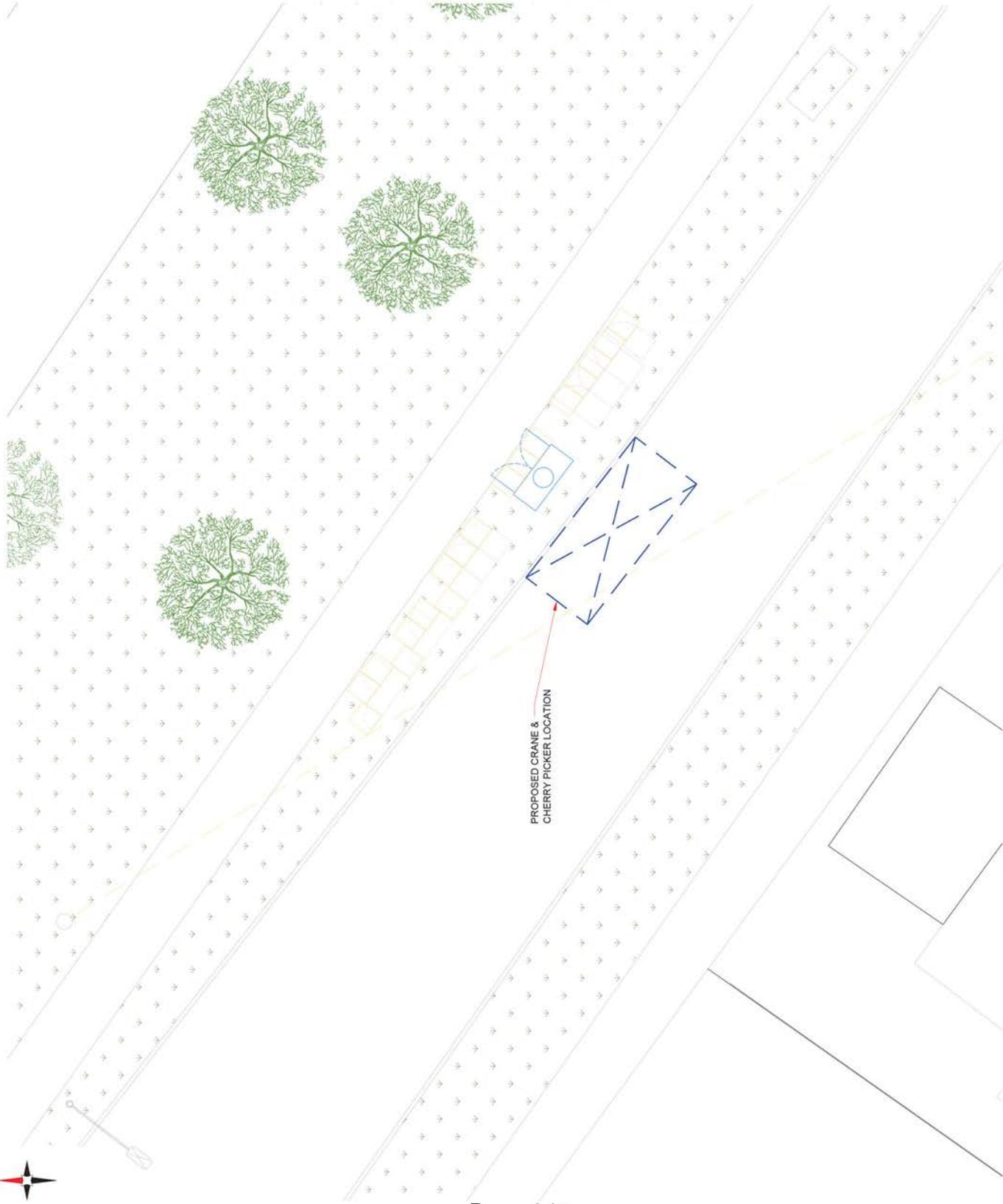
BEACONCOMMS

UNIT 11 PTTI CLAVE INDUSTRIAL ESTATE TAYSTOCK, DRIFHA, PL19 0PW
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Site Name:	HUME WAY
Site ID:	732715
Address:	HUME WAY RUISLIP HILLINGDON LONDON HA4 8DY
Task:	006 SERVICES PLAN
Project:	T & A
Purpose of Issue:	GENERAL ARRANGEMENT
EE CRD ID:	70284
MBNL CRD ID:	HGN032
BUK CRD ID:	HA0072
Master Drawing No:	732715_HGN032_70284_HA0072_M003
Issue:	C

SERVICES PLAN





CHERRY PICKER / CRANE LOCATION PLAN

NOTES:

- 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED
- PROPOSED CRANE OR CHERRY PICKER LOCATION:
-

Number	MBNL / E.E. / 11/20	Project	Purpose of Issue	Issue
M003	MBNL	T&A	Planning	C
Date:	14/04/2020	Revisions / Upgrade Description:		
Drawn:	K. Sygar	Amends to site topography		
Checked:	M. Verwood			
Approved:	M. Verwood			
M002	MBNL	T&A	Planning	B
Date:	21/02/2020	Revisions / Upgrade Description:		
Drawn:	K. Naveen	Site Location Change		
Checked:	M. Verwood			
Approved:	M. Verwood			
M001	MBNL	T&A	Planning	A
Date:	01/05/2019	Revisions / Upgrade Description:		
Drawn:	R. Marikandran	First Issue		
Checked:	M. Verwood			
Approved:	M. Verwood			



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 London SE16 7NL
 Authorised Supplier of Electricity



Mobile Broadband Network Limited
 South Park, Business Tower, Station Road, Reading, RG1 1LX



Site Name:	HUME WAY				
Site ID:	732715				
Address:	HUME WAY RUISLIP HILLINGDON LONDON HA4 8DY				
T&A:	005 CHERRY PICKER & CRANE LOCATION				
Project:	T & A				
Purpose of Issue:	GENERAL ARRANGEMENT				
E.E. CRP ID:	70284	MBNL CRP ID:	HGN032	BULK CRP ID:	HA0072
Master Drawing No:	732715_HGN032_70284_HA0072_M003				
Issue:	C				



SUPPORT STRUCTURE SCHEDULE

Structure ID	Status	Equipment Description / Type	Structure Manufacturer	Height AGL (m)	Colour (RAL Colour)	Headframe Details	Foundation / Support Grillage / Host Structure Details	Support Bolt Details	MBNL Ref.	Comments
ST1	Existing	Phase 4 Monopole	-	13.7m	-	-	Root Foundation	-	-	
ST2	Proposed	HS2	-	20.0m	Galvanised	-	Root Foundation	-	-	

EQUIPMENT SCHEDULE

Equipment ID	Quantity	Status	Equipment Description / Type	Equipment Manufacturer	Dimensions (W x D x H)	Weight (kg)	Colour (RAL Colour)	Material	Location	Power	Power cable length (m)	MBNL Ref.	Comments
CAB1	1	Proposed	EE - Whilshire	-	2000x750x1850	-	Grey	Steel	Outdoor	-	-	-	
CAB2	1	Proposed	EE - 3900A	-	600x600x1900	-	Grey	Steel	Outdoor	-	-	-	
CAB3	1	Proposed	H3G - Mk5 Link AC	-	1200x500x1700	-	Grey	Steel	Outdoor	-	-	-	
CAB4	1	Proposed	H3G - RFC5906	-	600x600x1800	-	Grey	Steel	Outdoor	-	-	-	
CAB5	1	Proposed	H3G - RFC5906	-	600x600x1800	-	Grey	Steel	Outdoor	-	-	-	
CAB6	1	Proposed	H3G - POGONA	-	1230x400x1032	-	Grey	Steel	Outdoor	-	-	-	
CAB7	1	Proposed	H3G - AMP5930	-	600x600x1200	-	Grey	Steel	Outdoor	-	-	-	
CAB8	1	Proposed	Diplexer Cabinet	-	1600x700x1600	-	Grey	Steel	Outdoor	-	-	-	

STATUS KEY:

Installed: Existing
Relain: Existing and to remain
Relocate: Existing and to be relocated
Remove: Existing to be removed from site
Proposed: New on site

LOCATION KEY:

Outdoor: Located outside equipment cabin or equipment room
Indoor: Located within an equipment cabin or located inside a cabinet or item of equipment
Internal: Located inside a cabinet or item of equipment

MBNL Ref.	Project	Purpose of Issue
M003 MBNL	T&A	Planning
M002 MBNL	T&A	Planning
M001 MBNL	T&A	Planning

MBNL Ref.	Project	Purpose of Issue
M003 MBNL	T&A	Planning
M002 MBNL	T&A	Planning
M001 MBNL	T&A	Planning

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Site Name: HUME WAY
 Site ID: 732715
 Address: HUME WAY
 RUISLIP
 HILLINGDON
 LONDON
 HA4 8DY

Project: 305 EQUIPMENT SCHEDULE & SUPPORT STRUCTURE DETAILS
 T & A

Purpose of Issue: GENERAL ARRANGEMENT
 EE CR ID: 70284
 MBNL CR ID: HGN032
 SUK CR ID: HA0072
 Master Drawing No: 732715_HGN032_70284_HA0072_M003
 Issue: C



1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED

DEPENDENCY	STATUS
RF Compliance	Pass - complies with stepdowns Sector A - Stepdown 2 Sector B - Stepdown 2 Sector C - Stepdown 2
Building Regulations Approval	N/A
Asbestos	N/A
Planning Conditions	TBC by Local Authority
Geotech Report	To be obtained bt Tower Manufacturer
Structural Calculations	N/A
Intrusive Building Survey	N/A
Global Design Check	Required on new monopole by tower manufacturer
Rigging Survey	N/A
FIXITS	N/A - Step-Downs applied
Power 3	Existing single phase 100A supply to be upgraded to 3 phase within Mk5 cabinet
Transmission Solution	Existing BT & Tx equipment to be relocated within Mk5 cabinet
Cooling Solution	N/A
Line of Site Survey	N/A
Services Search	Completed (SW)
Other	

RIGGING INSERTION LOSS - FIXIT RAISED: 33947
 EE L2600A loss of -3.145dB exceeds the -3dB limit.
 Awaiting approved control measures

NOTES

1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED

Number	MBNL / E.E. / 11233	Project	Phase of Issue	Issue
M003	MBNL	T&A	Planning	C
Date:	14/04/2020	Revision / Upgrade Description:		
Drawn:	K. Syger	Amends to site topography		
Checked:	M. Vercoe			
Approved:	M. Vercoe			
M002	MBNL / E.E. / 11233	Project	Phase of Issue <th>Issue</th>	Issue
Date:	21/02/2020	Revision / Upgrade Description:	Planning	B
Drawn:	K. Naveen	Site Location Change		
Checked:	M. Vercoe			
Approved:	M. Vercoe			
M001	MBNL	T&A	Planning	A
Date:	01/05/2019	Revision / Upgrade Description:	First Issue	
Drawn:	R. Marlandan			
Checked:	M. Vercoe			
Approved:	M. Vercoe			



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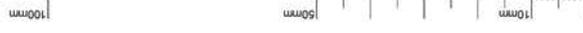


Mobile Broadband Network Limited
 Stratford Parkway, Stratford, London, E3 5LX



UNIT 11 PTT'S CLAYTON INDUSTRIAL ESTATE TANSTOCK, DROGHDA, CO. DUBLIN 11, IRELAND
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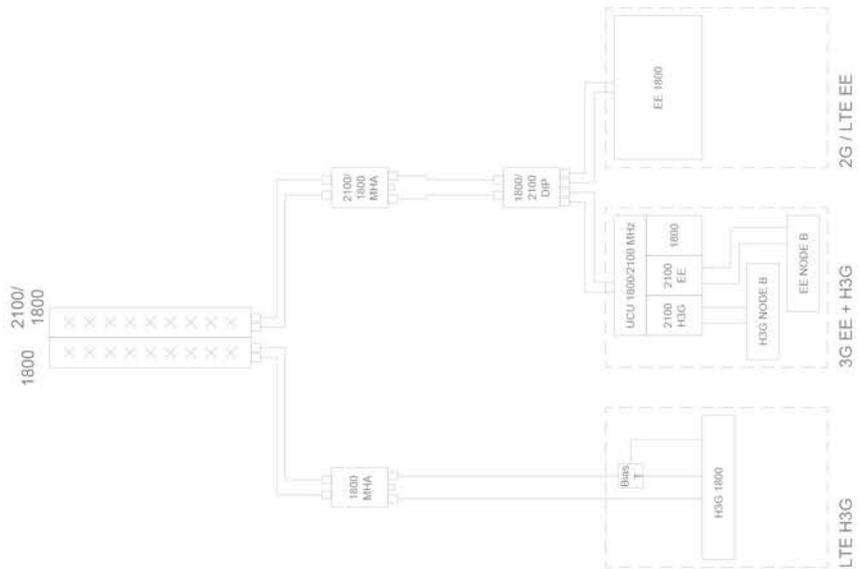
Site Name:	HUME WAY
Site ID:	732715
Address:	HUME WAY RUISLIP HILLINGDON LONDON HA4 8DY
Tel:	007 FIXITS & DEPENDENCIES
Project:	T & A
Purpose of Issue:	GENERAL ARRANGEMENT
EE CR ID	70284
MBNL CR ID	HGN032
BUK CR ID	HA0072
Master Drawing No:	732715_HGN032_70284_HA0072_M003
Issue:	C



ANTENNA DETAILS

ANTENNA REF	BEARING (°)	MID ANTENNA HEIGHT (m)	OVERALL FEEDER LENGTH (m)		MAIN FEEDER TYPE		MHA		ANTENNA MANUFA- CTURER	MODEL NUMBER	RET
			2G	3G/LTE	2G	3G/LTE	2G	3G/LTE			
C1A1/uA1/HeA1	0	12.7	Ex	21.0	2G	3G/LTE	2G	3G/LTE	Kathrein	742-236	Yes
C2A1/uB1/HeB1	120	12.7	Ex	21.0	LDF 4-50	LDF 4-50	-	3G/LTE MHA	Kathrein	742-236	Yes
C3A1/uC1/HeC1	240	12.7	Ex	21.0	LDF 4-50	LDF 4-50	-	3G/LTE MHA	Kathrein	742-236	Yes

NOTE:
THIS SCHEMATIC WAS AT TIME OF SURVEY



EXISTING ANTENNA SCHEMATIC
NTS

STATUS KEY:

- Existing
- Relocate: Existing and to remain
- Remove: Existing and to be relocated
- Proposed: Existing to be removed from site
- New on site

Number	MBNL / EE / 11233	Project	Phase of Issue	Issue
M003	MBNL	T&A	Planning	C
Date:	14/04/2020	Revision / Upgrade Description:		
Drawn:	K. Sygar	Amends to site topography		
Checked:	M. Vennart			
Approved:	M. Vennart			
M002	MBNL / EE / 11233	Project	Phase of Issue <th>Issue</th>	Issue
Date:	21/02/2020	Revision / Upgrade Description:		
Drawn:	K. Nareyn	Site Location Change		
Checked:	M. Vennart			
Approved:	M. Vennart			
M001	MBNL	Project	Phase of Issue <th>Issue</th>	Issue
Date:	01/05/2019	Revision / Upgrade Description:		
Drawn:	R. Manikandan	First Issue		
Checked:	M. Vennart			
Approved:	M. Vennart			



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Site Name: HUME WAY
 Site ID: 732715
 Address: HUME WAY
 RUISLIP
 HILLINGDON
 LONDON
 HA4 8DY

Task: 300 EXISTING ANTENNA SCHEDULE
 & LINE CONFIGURATION
 Project: T & A

Purpose of Issue: GENERAL ARRANGEMENT

EE CR ID	MBNL CR ID	BUK CR ID
70284	HGN032	HA0072

Master Drawing No: 732715_HGN032_70284_HA0072_M003
 Issue: C

NOTES:

- ALL DIMENSIONS IN MMI UNLESS OTHERWISE NOTED.
- REFER TO R010102.MBNL RF COMPLIANCE

NOTE: ANY DRAWINGS SHOWING ICNIRP ZONES MUST NOT BE SENT TO THE SITE PROVIDER, SITE PROVIDERS AGENTS OR PLANNING DEPARTMENTS

Revision	MBNL / E.E. / H203	Project	Purpose of Issue	Issue
M003	MBNL	T&A	Planning	C
Drawn	14/04/2020	Revision 1 Upgrade Description		
Checked	K. Syper	Amends to site topography		
Approved	M. Vynnyk			
M002	MBNL	T&A	Planning	B
Drawn	21/02/2020	Revision 1 Upgrade Description		
Checked	K. Naveny	Site Location Change		
Approved	M. Vynnyk			
M001	MBNL	T&A	Planning	A
Drawn	01/05/2019	Revision 1 Upgrade Description		
Checked	R. Macfarland	First Issue		
Approved	M. Vynnyk			

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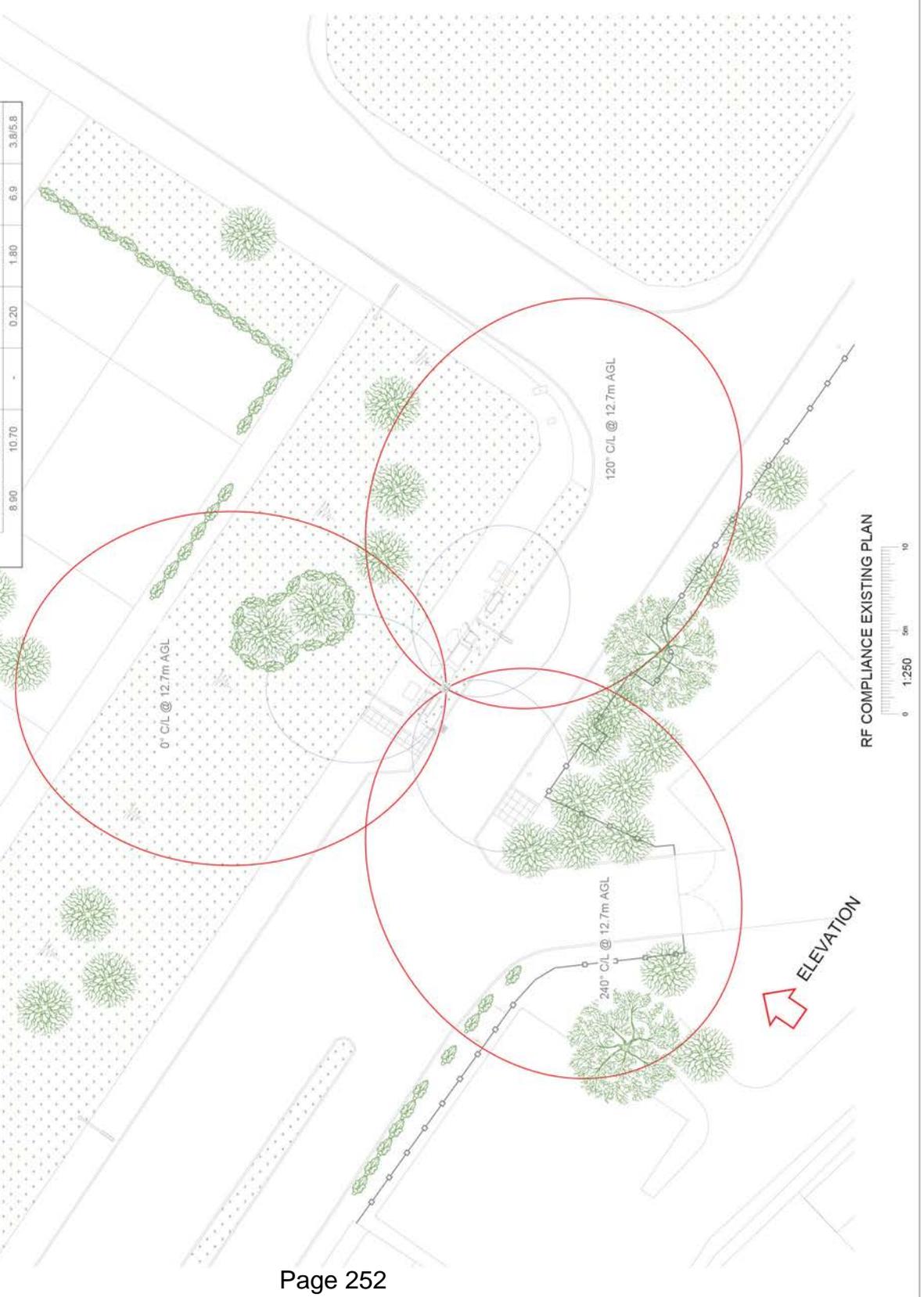
Site Name: HUME WAY
 Site ID: 732715
 Address: HUME WAY
 RUISLIP
 HILLINGDON
 LONDON
 HA4 8DY

Table:

Table	400 RF COMPLIANCE
Project	EXISTING PLAN
Purpose of Issue	T & A

EE CR ID: 70284
 MBNL CR ID: HGN032
 BUK CR ID: HA0072
 Master Drawing No: 732715_HGN032_70284_HA0072_M003
 Issue: C

Watts	800MHz	1800MHz	2100MHz	2600MHz	Comestore single op
	80	320	220	80	Max
	PUBLIC WIDTH	PUBLIC LENGTH	PUBLIC REAR	PUBLIC H1	PUBLIC H2
	21.20	25.80	0.30	1.00	4.4
	OCCUP. WIDTH	OCCUP. LENGTH		OCCUP. H1	OCCUP. H2
	8.90	10.70	-	0.20	1.80
					BUILD HEIGHT
					6.9
					BUILD HEIGHT
					3.9/5.8

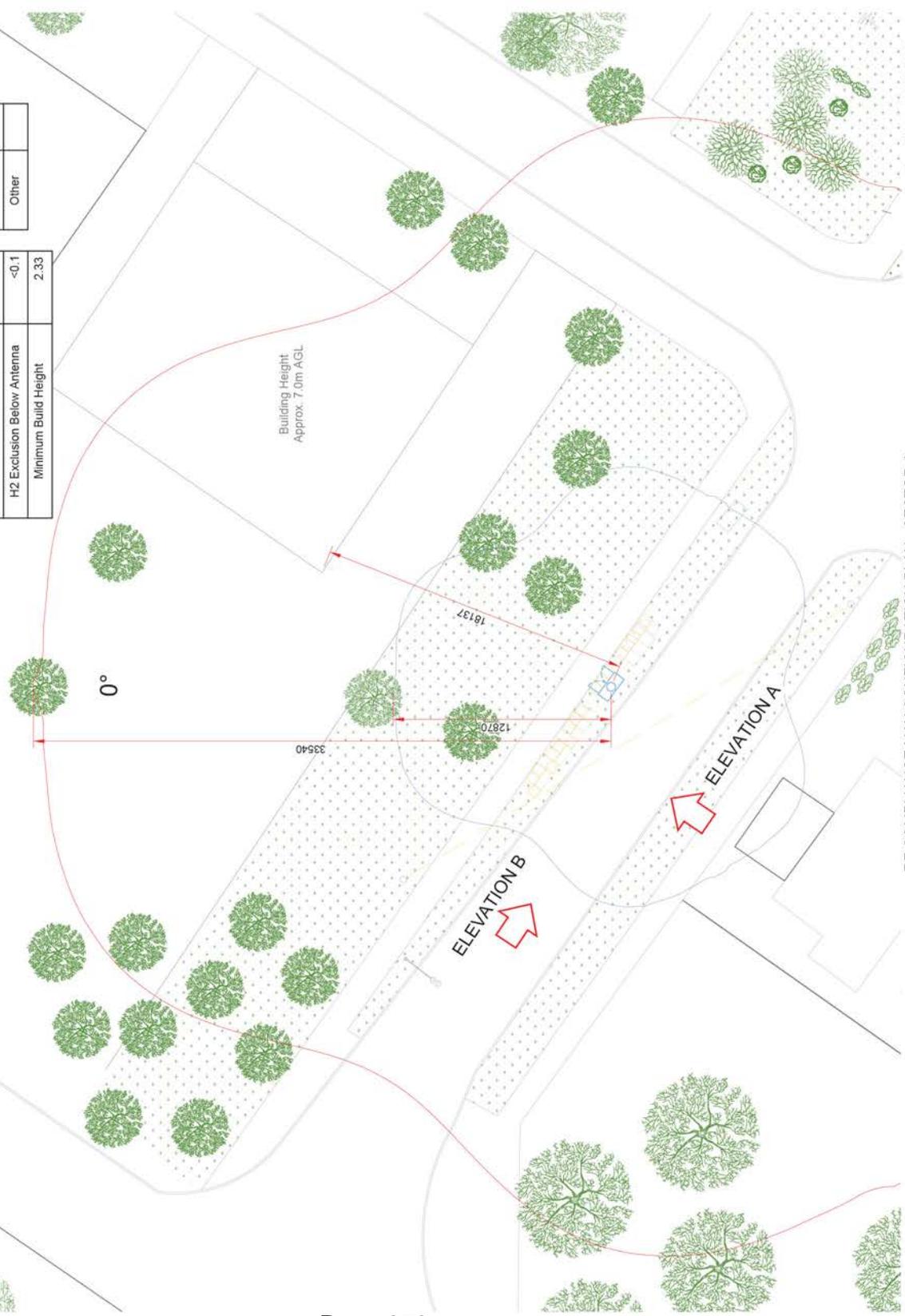


Address ID	Proposed Aperture	Operator	Shared	EHF/5G
A1	0°	H3G	EE	EE/H3G
A2	0°	EE	EE	EE/H3G
A3	0°	EE/H3G	EE	EE/H3G
A4	0°	EE/H3G	EE	EE/H3G
B1	120°	H3G	EE	EE/H3G
B2	120°	EE	EE	EE/H3G
B3	120°	EE/H3G	EE	EE/H3G
B4	120°	EE/H3G	EE	EE/H3G
C1	240°	H3G	EE	EE/H3G
C2	240°	EE	EE	EE/H3G
C3	240°	EE/H3G	EE	EE/H3G
C4	240°	EE/H3G	EE	EE/H3G

Operators on site (or within 50m)	
EE	Yes
H3G	Yes
CTIL	
UKBB	
Airwave	
Broadcast	
Other	

Step 2 - HS2 Pole	
Public Compliance Radius	33.54
H1 Exclusion Below Antenna	2.88
H2 Exclusion Below Antenna	2.99
Minimum Build Height	4.99
Occupational Compliance Radius	12.87
H1 Exclusion Below Antenna	0.33
H2 Exclusion Below Antenna	<0.1
Minimum Build Height	2.33

STEPDOWN 2 DUE TO SURROUNDING BUILDING HEIGHTS



RF COMPLIANCE MAX CONFIGURATION PLAN - SECTOR A

Hyperlink to PACS RF Report

NOTES:
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.
 2. REFER TO TD54000 FOR MBNL RF COMPLIANCE GUIDANCE.

Revision	MBNL / EE / H3G	Project	Purpose of Issue	Issue
M003	MBNL	T&A	Planning	C
Issue	14/04/2020	Revision / Upgrade Description		
Drawn	K. Syper	Amends to site topography		
Checked	M. Vercoe			
Approved	M. Vercoe			
M002	MBNL / EE / H3G	Project	Purpose of Issue	Issue
Issue	21/02/2020	Revision / Upgrade Description	Planning	B
Drawn	K. Nareyn	Site Location Change		
Checked	M. Vercoe			
Approved	M. Vercoe			
M001	MBNL	Project	Purpose of Issue	Issue
Issue	01/05/2019	Revision / Upgrade Description	Planning	A
Drawn	R. Macdonald	First Issue		
Checked	M. Vercoe			
Approved	M. Vercoe			

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H3G
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ACQ
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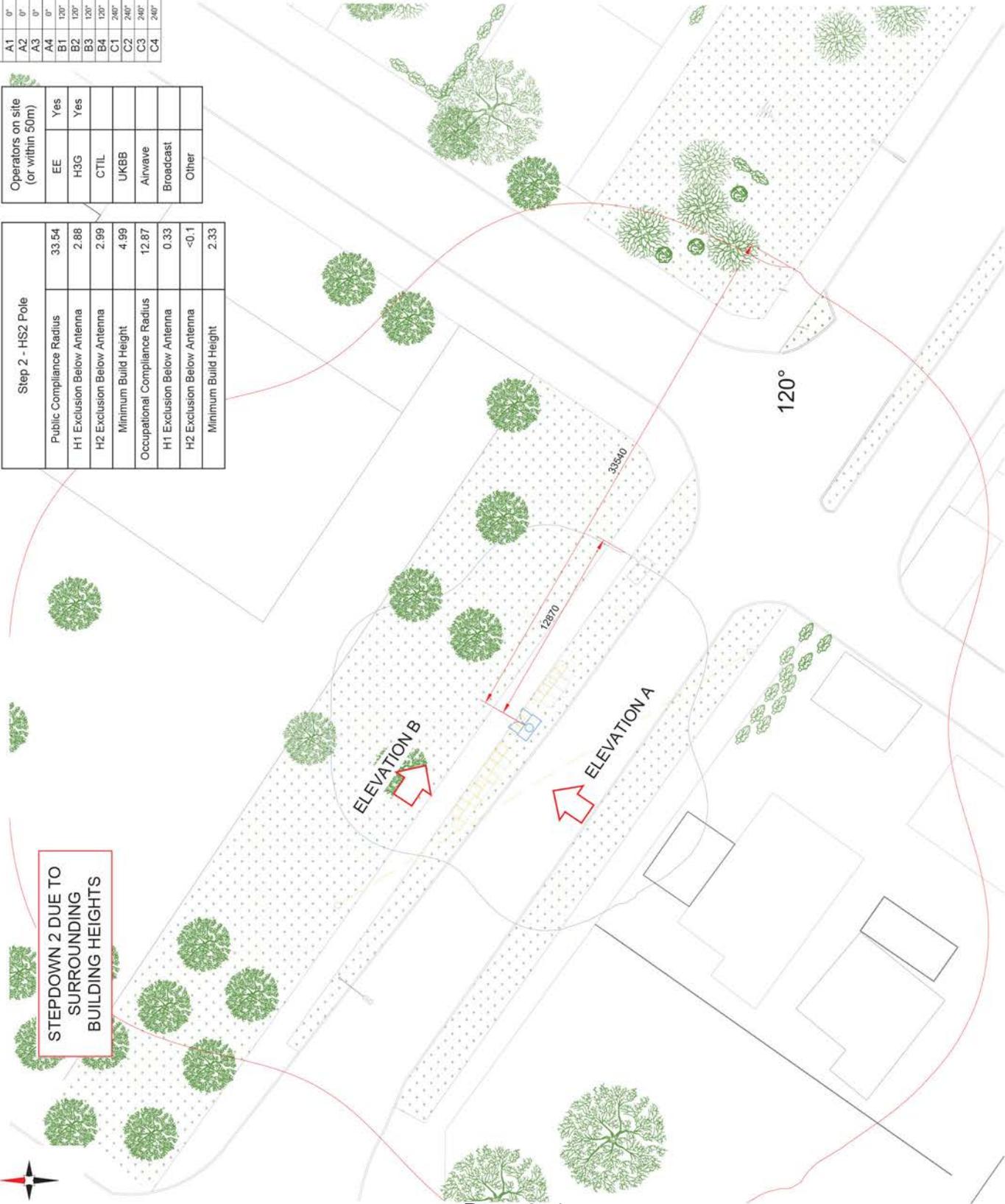
Site Name:	HUME WAY	
Site ID:	732715	
Address:	HUME WAY RUISLIP HILLINGDON LONDON HA4 8DY	
Tel:	411 RF COMPLIANCE MAX CONFIGURATION PLAN - SECTOR A	
Project:	T & A	
Purpose of Issue:	GENERAL ARRANGEMENT	
EE CR ID	MBNL CR ID	3UK CR ID
70284	HGN032	HA0072
Master Drawing No: 732715_HGN032_70284_HA0072_M003		
Issue: C		

Reference ID	Proposed Aperture	Operator
A1	0"	H3G
A2	0"	EE
A3	0"	EEH3G
A4	0"	EEH3G
B1	120"	H3G
B2	120"	EE
B3	120"	EEH3G
B4	120"	EEH3G
C1	240"	H3G
C2	240"	EE
C3	240"	EEH3G
C4	240"	EEH3G

Operators on site (or within 50m)	
EE	Yes
H3G	Yes
CTIL	
UKBB	
Airwave	
Broadcast	
Other	

Step 2 - HS2 Pole	
Public Compliance Radius	33.54
H1 Exclusion Below Antenna	2.88
H2 Exclusion Below Antenna	2.99
Minimum Build Height	4.99
Occupational Compliance Radius	12.87
H1 Exclusion Below Antenna	0.33
H2 Exclusion Below Antenna	<0.1
Minimum Build Height	2.33

STEPDOWN 2 DUE TO SURROUNDING BUILDING HEIGHTS



RF COMPLIANCE MAX CONFIGURATION PLAN - SECTOR B

NOTES:
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED
 2. REFER TO TD54000 FOR MBNL RF COMPLIANCE GUIDANCE

Reference	MBNL / EE / H3G	Project	Purpose of Issue	Issue
M003	MBNL	T&A	Planning	C
Issue	14/04/2020	Revision / Upgrade Description		
Drawn	K. Syper	Amends to site topography		
Checked	M. Vercor			
M002	MBNL	T&A	Planning	B
Issue	21/02/2020	Revision / Upgrade Description		
Drawn	K. Naven	Site Location Change		
Checked	M. Vercor			
M001	MBNL	T&A	Planning	A
Issue	01/05/2019	Revision / Upgrade Description		
Drawn	R. Macdonald	First Issue		
Checked	M. Vercor			

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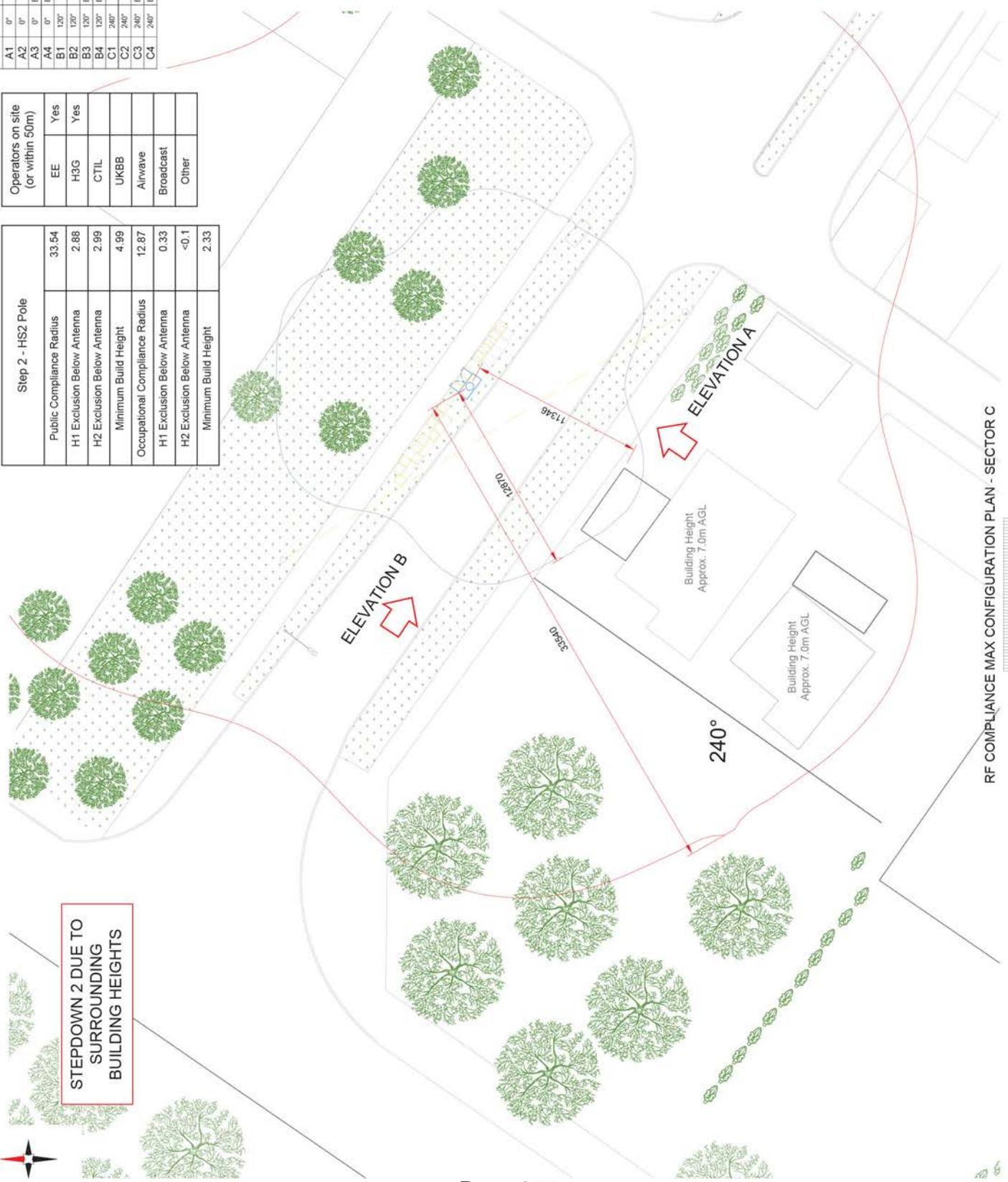
Site Name:	HUME WAY
Site ID:	732715
Address:	HUME WAY RUISLIP HILLINGDON LONDON HA4 8DY
Tel:	412 RF COMPLIANCE MAX CONFIGURATION PLAN - SECTOR B
Project:	T & A
Purpose of Issue:	GENERAL ARRANGEMENT
EE CR ID	70284
MBNL CR ID	HGN032
3UK CR ID	HA0072
Master Drawing No:	732715_HGN032_70284_HA0072_M003
Issue:	C

Reference ID	Proposed Aperture	Operator
A1	0°	H3G
A2	0°	EE
A3	0°	EEH3G
A4	0°	EEH3G
B1	120°	H3G
B2	120°	EE
B3	120°	EEH3G
B4	120°	EEH3G
C1	240°	H3G
C2	240°	EE
C3	240°	EEH3G
C4	240°	EEH3G

Operators on site (or within 50m)	
EE	Yes
H3G	Yes
CTIL	
UKBB	
Airwave	
Broadcast	
Other	

Step 2 - HS2 Pole	
Public Compliance Radius	33.54
H1 Exclusion Below Antenna	2.88
H2 Exclusion Below Antenna	2.99
Minimum Build Height	4.99
Occupational Compliance Radius	12.87
H1 Exclusion Below Antenna	0.33
H2 Exclusion Below Antenna	<0.1
Minimum Build Height	2.33

STEPDOWN 2 DUE TO SURROUNDING BUILDING HEIGHTS



RF COMPLIANCE MAX CONFIGURATION PLAN - SECTOR C



NOTES:
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.
 2. REFER TO TD54000 FOR MBNL RF COMPLIANCE GUIDANCE.

Reference	MBNL / EE / H3G	Project	Purpose of Issue
M003	MBNL	T&A	Planning
Dates: 14/04/2020 Drawn: K. Syper Checked: M. Verwood Approved: M. Verwood			
Revision 1 Upgrade Description: Amends to site topography.			
M002	MBNL	T&A	Planning
Dates: 21/02/2020 Drawn: K. Naveney Checked: M. Verwood Approved: M. Verwood			
Revision 1 Upgrade Description: Site Location Change			
M001	MBNL	T&A	Planning
Dates: 01/05/2019 Drawn: R. Macfarland Checked: M. Verwood Approved: M. Verwood			
Revision 1 Upgrade Description: First Issue			
ACQ			

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 Email: sales@beaconcomms.co.uk

Site Name:	HUME WAY
Site ID:	732715
Address:	HUME WAY RUISLIP HILLINGDON LONDON HA4 8DY
File:	413 RF COMPLIANCE MAX CONFIGURATION PLAN - SECTOR C
Project:	T & A
Purpose of Issue:	GENERAL ARRANGEMENT
EE CR ID:	70284
MBNL CR ID:	HGN032
UK CR ID:	HA0072
Master Drawing No:	732715_HGN032_70284_HA0072_M003
Issue:	C

Angle of antenna	
uA1	0°
uB1	120°
uC1	240°

NOTES:

- ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.
- REFER TO R010102.MBNL RF COMPLIANCE

NOTE: ANY DRAWINGS SHOWING ICNRP ZONES MUST NOT BE SENT TO THE SITE PROVIDER, SITE PROVIDERS AGENTS OR PLANNING DEPARTMENTS

Revision	MBNL / E.E. / 14/03	Project	T&A	Purpose of Issue	Issue
M003	MBNL	14/04/2020	Amendments / Upgrade Descriptions:	Planning	C
Drawn	K. Sygar	Amendments to site topography.			
Checked	M. Vennart				
Approved	M. Vennart				
M002	MBNL	21/02/2020	Amendments / Upgrade Descriptions:	Planning	B
Drawn	K. Nareyn	Site Location Change			
Checked	M. Vennart				
Approved	M. Vennart				
M001	MBNL	01/05/2019	Amendments / Upgrade Descriptions:	Planning	A
Drawn	R. Macfarland	First Issue			
Checked	M. Vennart				
Approved	M. Vennart				

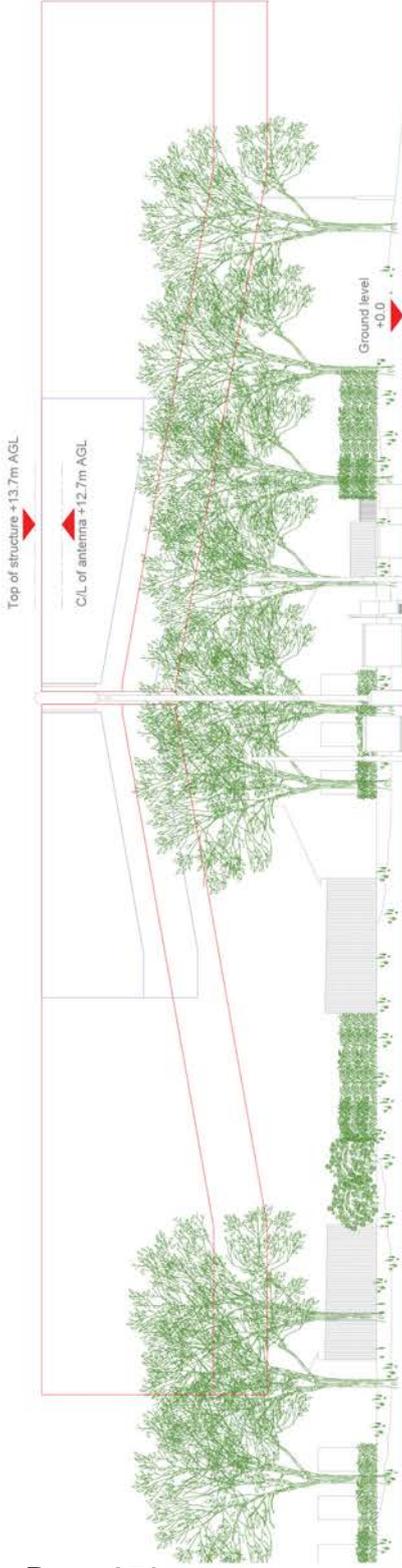
MBNL Mobile Broadband Network Limited
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EE
 Hutchison 3G UK Limited
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 Hertsfordshire
 AL10 9BB
 Tel: 01753 74000
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 www.ee.co.uk

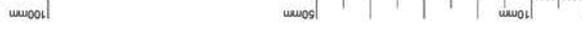
ACQ
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 Tel: 01753 74000
 Fax: 01753 74001
 www.acq.co.uk

BEACONCOMMS
 UNIT 11 PITS CLAYE INDUSTRIAL ESTATE TAYSTOCK DRUM PLIN 09W
 WILTSHIRE BA15 2JG
 Tel: +44 (0)1225 610610
 sales@beaconcomms.co.uk

Site Name:	HUME WAY	
Site ID:	732715	
Address:	HUME WAY RUISLIP HILLINGDON LONDON HA4 8DY	
Tab:	405 RF COMPLIANCE EXISTING ELEVATION	
Project:	T & A	
Purpose of Issue:	GENERAL ARRANGEMENT	
EE CR ID	MBNL CR ID	BUK CR ID
70284	HGN032	HA0072
Master Drawing No: 732715_HGN032_70284_HA0072_M003		
Issue: C		



RF COMPLIANCE EXISTING ELEVATION
 Scale 1: 200



NOTES:

- ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED. REFER TO TD54000 FOR MBNL RF COMPLIANCE GUIDANCE.

Address ID	Proposed 4G/5G Sharing	Operator's on site (or within 50m)
A1	0'	EE
A2	0'	EE
A3	0'	EE/H3G
A4	0'	EE/H3G
B1	100'	H3G
B2	100'	EE
B3	100'	EE/H3G
B4	100'	EE/H3G
C1	240'	H3G
C2	240'	EE
C3	240'	EE/H3G
C4	240'	EE/H3G

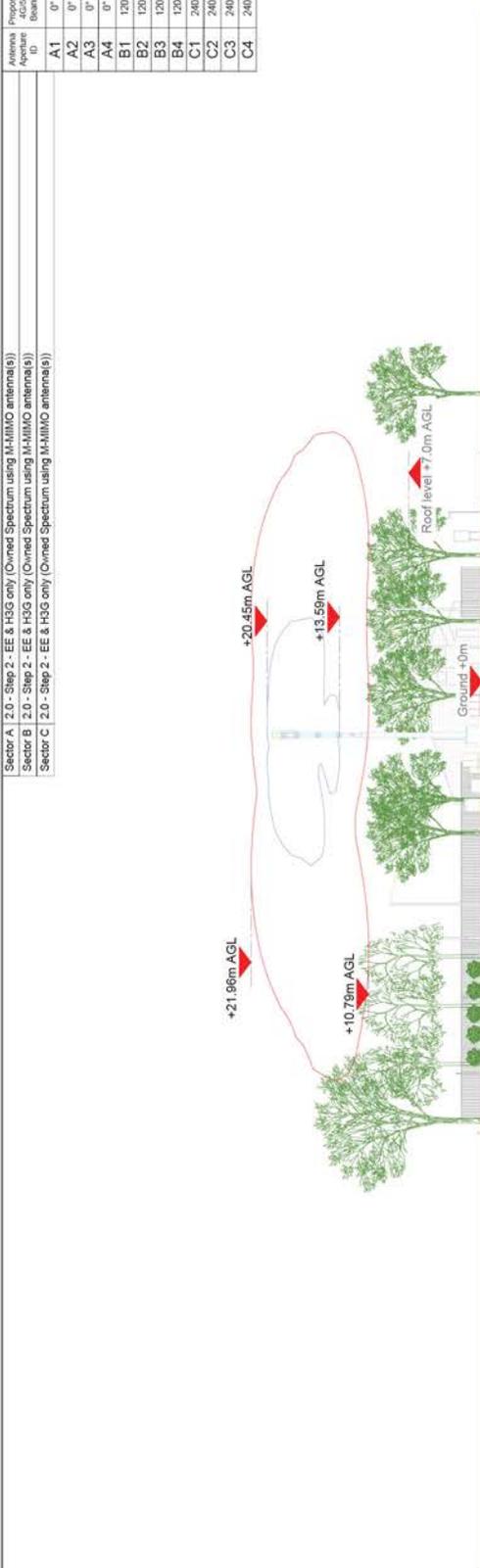
Reference	MBNL / EE / H3G	Project	Purpose of Issue
M003	MBNL	T&A	Planning
Issue	14/04/2020	Revision 1 Upgrade Description	
Drawn	K. Sygar	Amends to site topography.	
Approved	M. Vence		
M002	MBNL	T&A	Planning
Issue	21/02/2020	Revision 1 Upgrade Description	
Drawn	K. Nareyn	Site Location Change	
Approved	M. Vence		
M001	MBNL	T&A	Planning
Issue	01/05/2019	Revision 1 Upgrade Description	
Drawn	R. Mangan	First Issue	
Approved	M. Vence		

Mobile Broadband Network Limited
 5th Floor, The Tower, Station Road, Reading, RG1 1LX

EE
 Vodafone Business Park
 Hatfield
 Hertfordshire
 AL10 9BB
 Tel: 01707 316000
 Fax: 01707 319001

BEACONCOMMS
 UNIT 11 PTTI CLIVE INDUSTRIAL ESTATE TANSTOCK DRUM PLIN 6PW
 info@beaconcomms.co.uk Tel: +44 (0)1823 610610

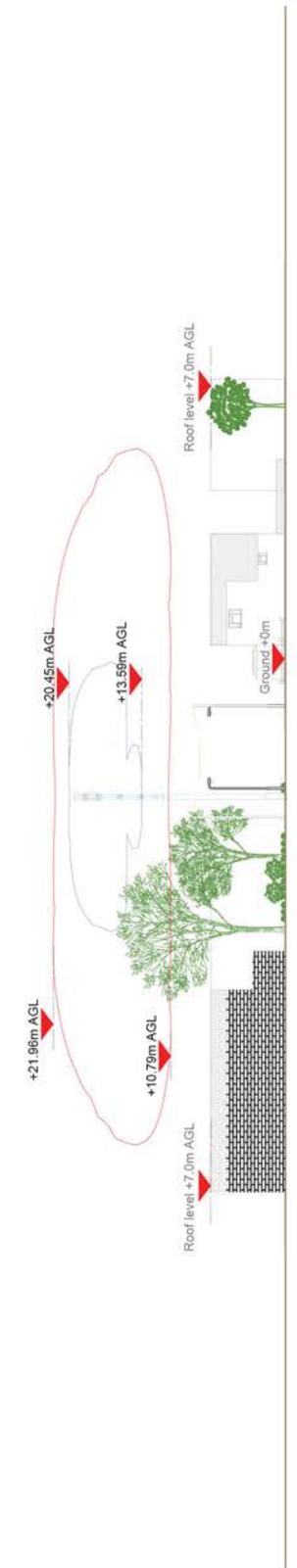
Site Name:	HUME WAY	
Site ID:	732715	
Address:	HUME WAY RUISLIP HILLINGDON LONDON HA4 8DY	
Tel:	451 RF COMPLIANCE MAX CONFIGURATION ELEVATIONS	
Project:	T & A	
Purpose of Issue:	GENERAL ARRANGEMENT	
EE CR ID	MBNL CR ID	BUK CR ID
70284	HGN032	HA0072
Master Drawing No: 732715_HGN032_70284_HA0072_M003		
Issue: C		



Step 2 - HS2 Pole	
Public Compliance Radius	33.54
H1 Exclusion Below Antenna	2.88
H2 Exclusion Below Antenna	2.99
Minimum Build Height	4.99
Occupational Compliance Radius	12.87
H1 Exclusion Below Antenna	0.33
H2 Exclusion Below Antenna	<0.1
Minimum Build Height	2.33

Operators on site (or within 50m)	
EE	Yes
H3G	Yes
CTIL	
UKBB	
Airwave	
Broadcast	
Other	

STEPDOWN 2 DUE TO SURROUNDING BUILDING HEIGHTS





Notes:

 Site boundary

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Site Address:

**Hume Way
Ruislip**

**LONDON BOROUGH
OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:
54873/APP/2020/721

Scale:
1:1,250

Planning Committee:
North Page 258

Date:
June 2020



Report of the Head of Planning, Transportation and Regeneration

Address WEYBEARDS FARM, PRIMROSE COTTAGE HILL END ROAD HAREFIELD
Development: Conversion of existing barns into 4 (2 x 2 bedroom and 2 x 3 bedroom) residential units, including alterations to fenestration with associated works
LBH Ref Nos: 72546/APP/2019/3837

Date Plans Received: 27/11/2019

Date(s) of Amendment(s): 28/11/2019

Date Application Valid: 16/01/2020

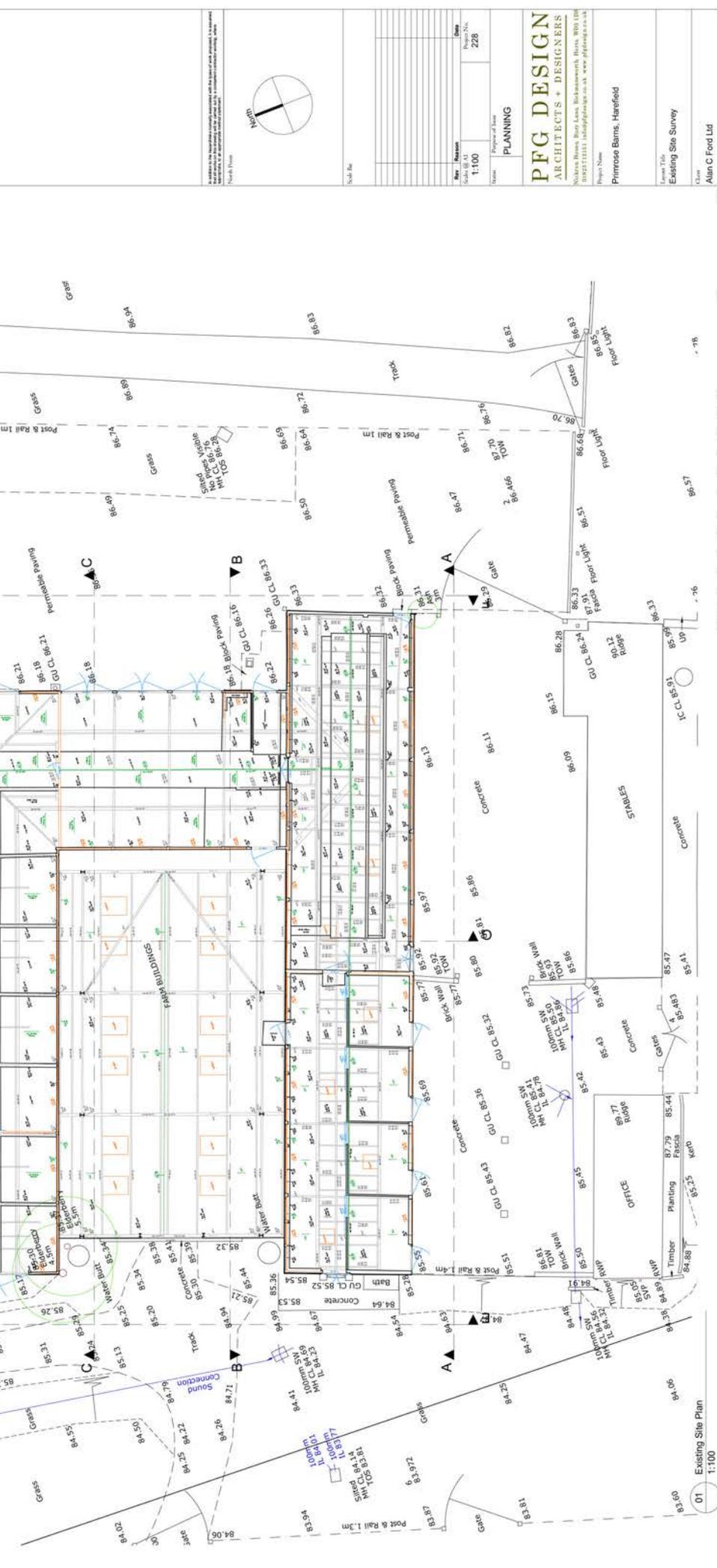
27/11/2019
04/03/2020

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Project Name: **PLANNING**
 Client: **Alan C Ford Ltd**
 Site: **Existing Site Survey**
 Scale: **1:100**

Project Name: **PFG DESIGN ARCHITECTS + DESIGNERS**
 Address: **Primmrose Barns, Hereford**
 Phone: **01432 350111**
 Email: **info@pfgdesign.co.uk**

Drawn: **228**
 Date: **228**
 Scale: **1:100**



01 Existing Site Plan
 1:100



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Scale: 1:1200
 Date: 28/03/2024
 Project No: 228
 Issue: PLANNING

Client: Alan C Ford Ltd
 Designer: Primrose Barrs, Harefield

Project Name: Proposed Site Layout
 Drawing No: 2019/228/006A

North Arrow

Scale: 1:1200

0 1 2 3 4 5 6 7 8 9 10 15 20
 Metres (m)
 @ A1:1200

01 Proposed Site Layout
 1:200

Weybeards Farm

Existing Track

Existing Mature Trees to remain unaltered

Existing Horse Menage to be removed and replaced with grass

Existing track to be removed

Unit 01 Garden

Unit 02 Garden

Unit 03 Garden

Unit 04 Garden

Courtyard

Unit 1

Unit 2

Unit 3

Unit 4

Garages

Existing Office

Existing Stables

Existing Mature Trees to remain unaltered

Existing Track to Springwell Lane, Harefield

Parking for units 1-4

Existing Handstanding

Primrose Cottage

Wind Turbine

Existing Office to have 1 x bat loft installed within existing roof void using existing structure. Human access is to be provided. See ASW Bat Emergence Report for further details.

All amenity space boundaries to be defined by low level post and rail fences and soft landscaping.

Indicate extent of existing buildings to be removed to create an open courtyard.

Existing mature trees to be retained - Schwinger woodcrete bat boxes installed. See ASW Bat Emergence Report for further details.

All rooflights to be conservation and flush with roof line.

Undercroft access to Courtyard.

Unit 04 additional Garden

4.735

6.500

01 02 03 04

01

02

03

04

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

Unit 4

Unit 3

Unit 2

Unit 1

Garages

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

Unit 4

Unit 3

Unit 2

Unit 1

Garages

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

Unit 4

Unit 3

Unit 2

Unit 1

Garages

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

Unit 4

Unit 3

Unit 2

Unit 1

Garages

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

Unit 4

Unit 3

Unit 2

Unit 1

Garages

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

Unit 4

Unit 3

Unit 2

Unit 1

Garages

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

Unit 4

Unit 3

Unit 2

Unit 1

Garages

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

Unit 4

Unit 3

Unit 2

Unit 1

Garages

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

Unit 4

Unit 3

Unit 2

Unit 1

Garages

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

Unit 4

Unit 3

Unit 2

Unit 1

Garages

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

Unit 4

Unit 3

Unit 2

Unit 1

Garages

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

Unit 4

Unit 3

Unit 2

Unit 1

Garages

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

Unit 4

Unit 3

Unit 2

Unit 1

Garages

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

Unit 4

Unit 3

Unit 2

Unit 1

Garages

Existing Office

Existing Stables

Existing Handstanding

Parking for units 1-4

Unit 04 Garden

Unit 03 Garden

Unit 02 Garden

Unit 01 Garden

Courtyard

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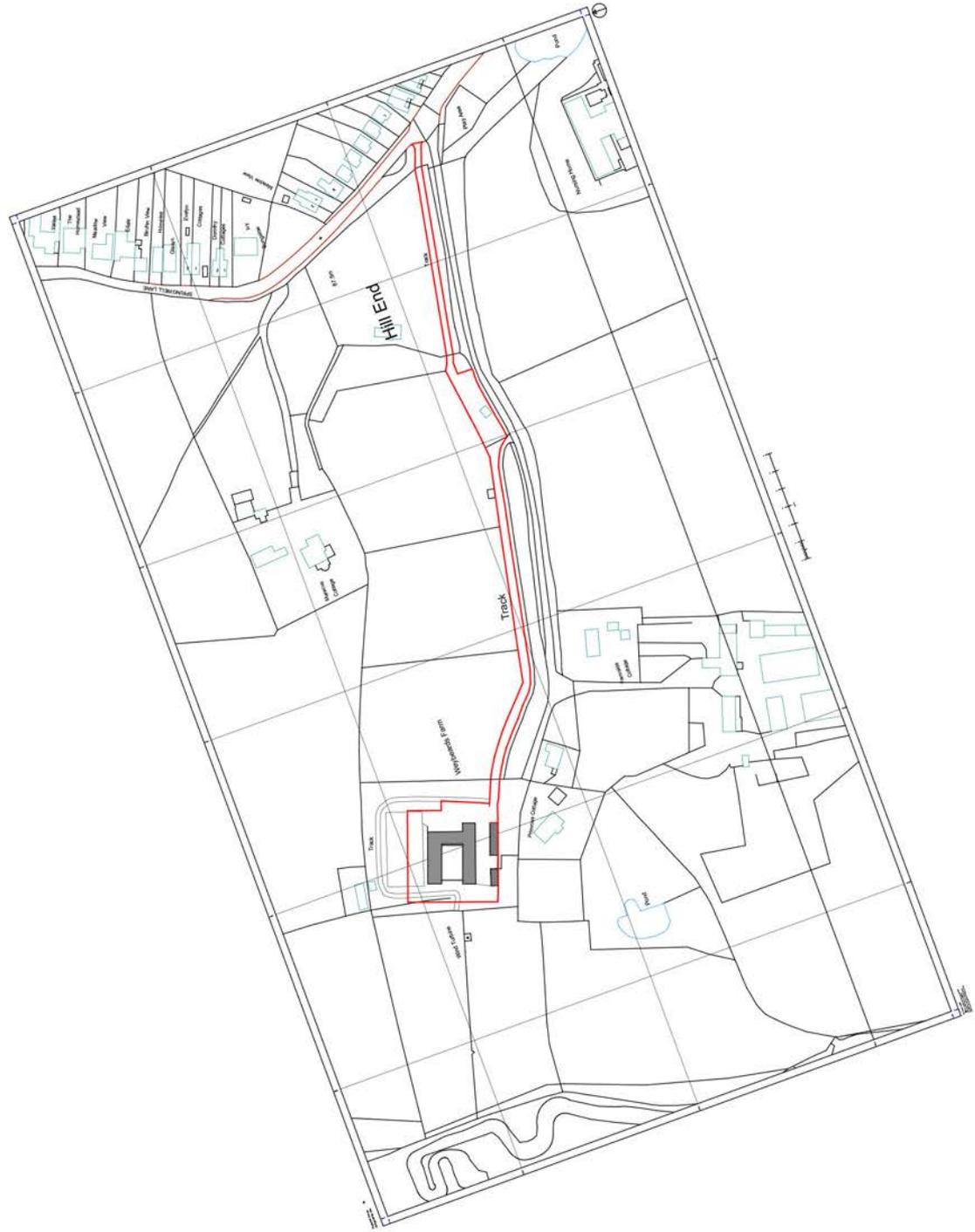
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Project Name		PLANNING	
Client		Alan C Ford Ltd	
Site Address		Primrose Barns, Harefield	
Drawing Title		Site Location Plan	
Drawing Number		2019/228/007A	
Date		12/12/2019	
Scale		1:1250	
Sheet No.		228	

PFG DESIGN
ARCHITECTS + DESIGNERS

Primrose Barns, Harefield, Bucks. MK45 1DR
01494 411111 | info@pfgdesign.co.uk | www.pfgdesign.co.uk

Project Name: PLANNING
Client: Alan C Ford Ltd
Site Address: Primrose Barns, Harefield
Drawing Title: Site Location Plan
Drawing Number: 2019/228/007A



01 Proposed Site Location Plan
1:1250

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Scale: 1:100	North
Drawn: [Name]	Checked: [Name]
Scale: 1:100	Project No: 228
Purpose of Issue: PLANNING	

PFG DESIGN
ARCHITECTS + DESIGNERS

Primmrose Barns, Harefield

Client: Alan C Ford Ltd

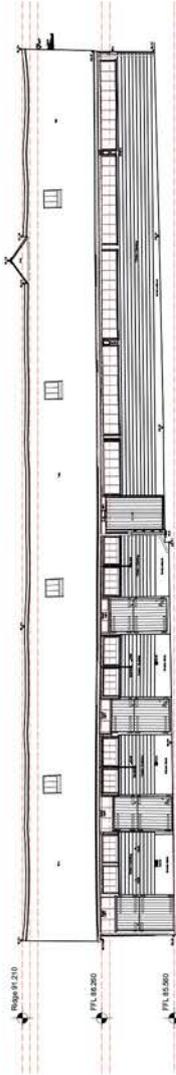
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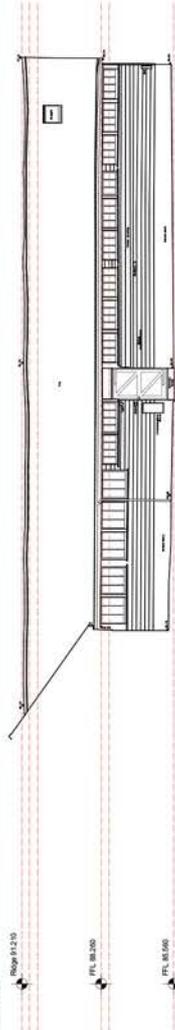
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Scale: 1:100

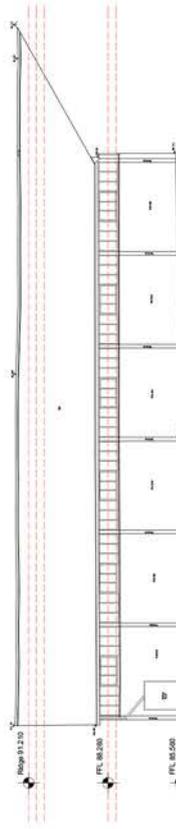
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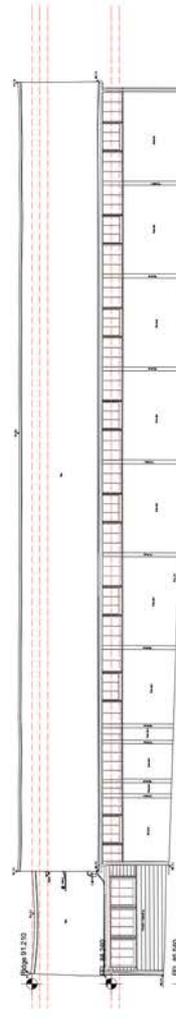
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1:100



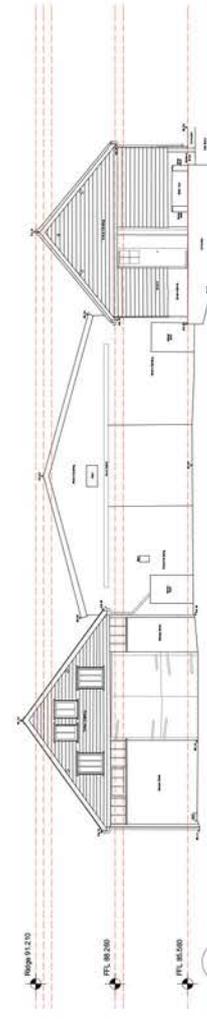
02 Existing Section B-B
1:100



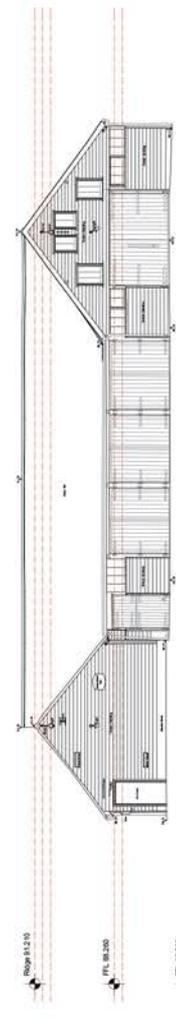
03 Existing Section C-C
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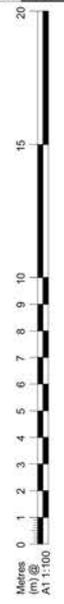
04 Existing Section D-D
1:100



05 Existing Section E-E
1:100



06 Existing Section F-F
1:100



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- Notes:-**
- Propose to remove existing steel barn structure within the existing barn and replace with open courtyard.
 - Conversion of existing existing barns into 4 new residential units with integrated parking and garden storage.
 - Private amenity space to be provided to each of the 4 units. This includes the removal of the existing Horse Manger.
 - A section of the existing barn at ground floor level to the south-western elevation is to be removed to provide direct particular access to the courtyard within the barns.
 - The existing office is to be demolished to provide 4 no. parking spaces per unit + 8 no. parking spaces.
 - Existing window and door openings to be utilised where feasible. Additional openings to be agreed with local planning authority.

As outlined in the Planning and Building Acts, the client is responsible for ensuring that all information provided is accurate and complete. It is the responsibility of the client to ensure that all information provided is accurate and complete. It is the responsibility of the client to ensure that all information provided is accurate and complete.



Scale: 1:100

Author	Project Name	Project No.
Client	Site No.	228
Drawn	Project of Issue	PLANNING

PFG DESIGN
ARCHITECTS + DESIGNERS

100, Riverside Barr Lane, Bala Business Park, Bala, LL23 7BB
01753 611111 | info@pfgdesign.co.uk | www.pfgdesign.co.uk

Project Name: Primrose Barns, Herefield

Layer Title: Proposed Elevations AA, BB and CC

Client: Alan C Ford Ltd

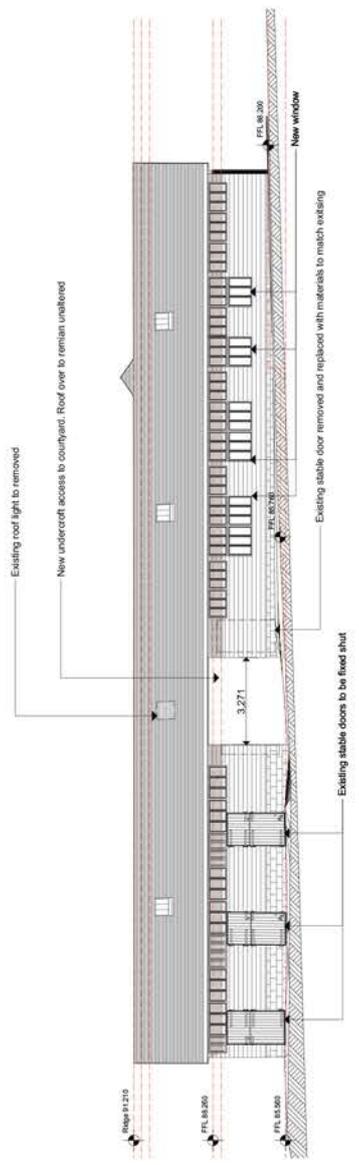
Drawn: 20/03/2025

Project No: 228

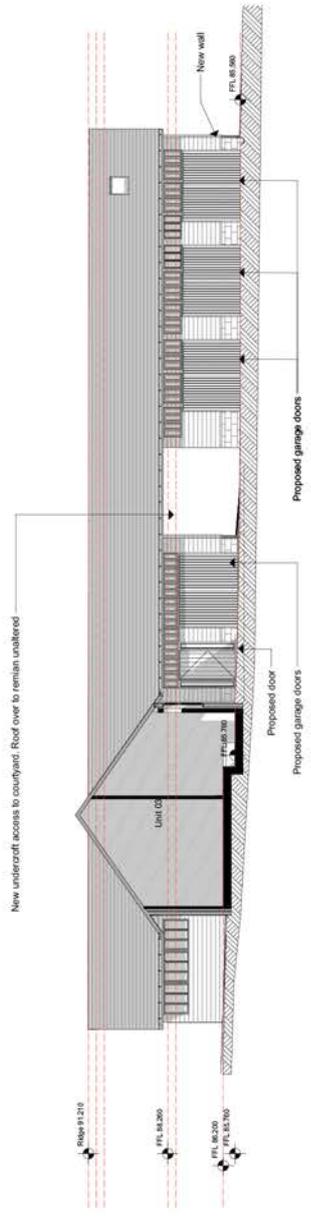
Project of Issue: PLANNING

Scale: 1:100

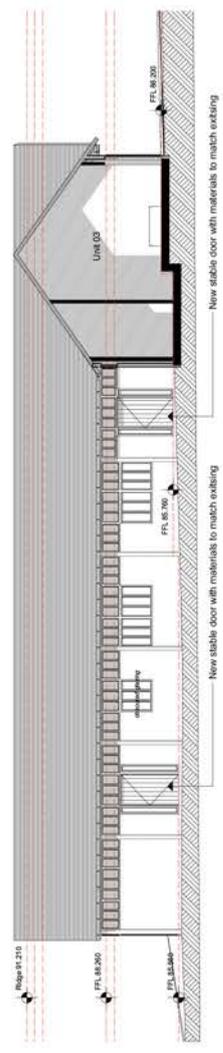
Drawing Number: 2019/228/004A



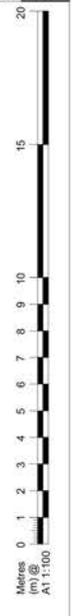
01 Proposed Elevation A-A
1:100



02 Proposed Elevation B-B
1:100



03 Proposed Elevation C-C
1:100



General Notes

1. This drawing to be used in conjunction with all relevant Architectural and Engineers Drawings and Specifications.
2. The Contractor shall be responsible for all dimensions, levels and for the correct setting out of all works on site.
3. The Contractor shall be responsible for all dimensions, levels and for the correct setting out of all works on site.



Standard Design Vehicle (SDV)
 Overall Length 5.000m
 Overall Width 1.900m
 Overall Body Height 1.500m
 Front Overhang 1.000m
 Rear Overhang 1.000m
 Wheelbase 3.000m
 Wheel to Wall Turning Radius 6.000m

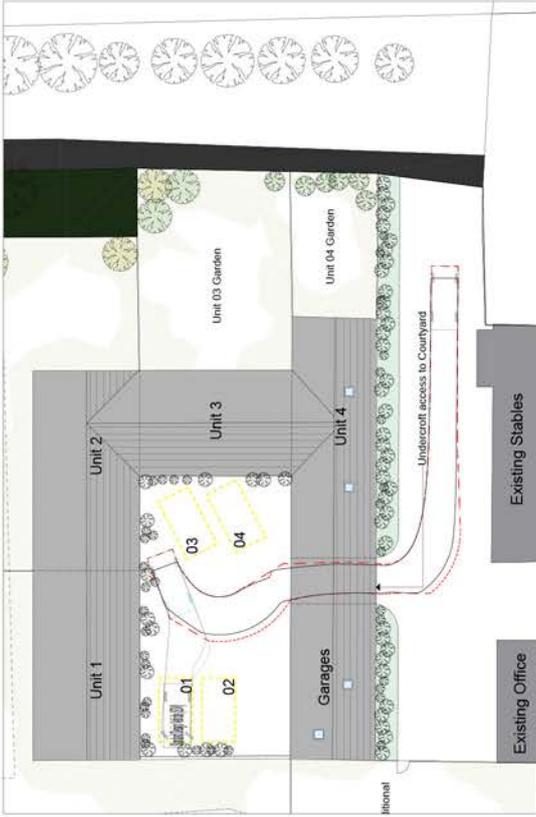
APPROVALS

REV	DESCRIPTION	DATE

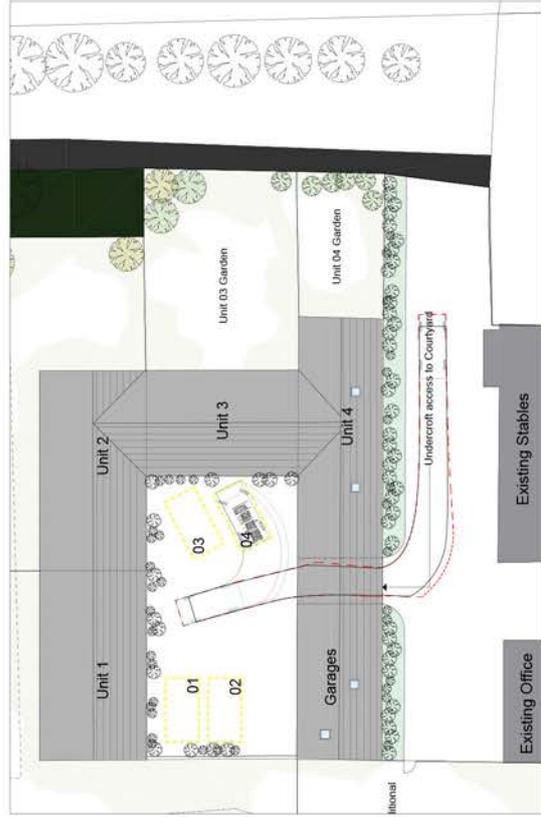
Hopkinson Engineering Consultants
 11, Kings Lane
 Great Munden
 Bucks HP15 02Z
 Telephone: (01494) 802071
 Email: h.ec@hopkinson.com

HEC
 Civil & Structural Engineers

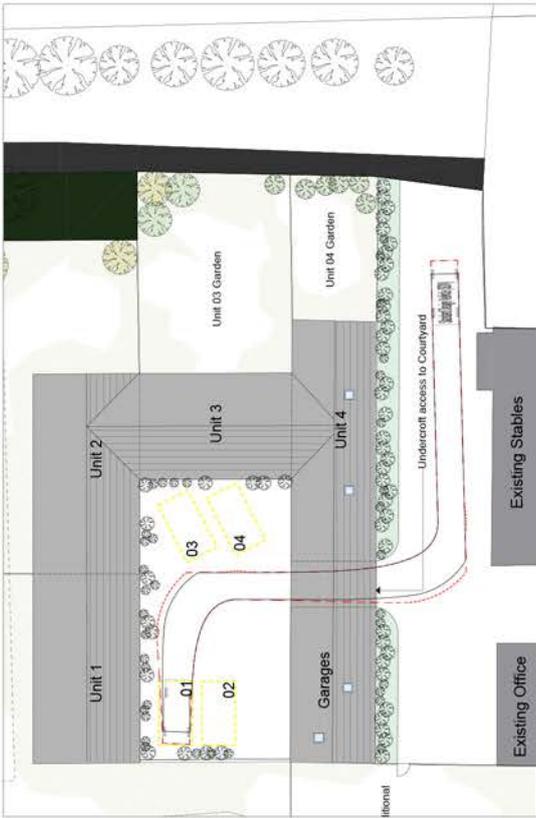
CLIENT:- Alan C Ford Ltd
 PROJECT:- Primrose Barns, Harefield
 DRAWING:- Vehicle Sweep Paths Sheet 1 of 3
 SCALE:- As shown
 DATE:- 24/02/20
 DRAWING NO:- H20-02-02-S01
 REV:- P1



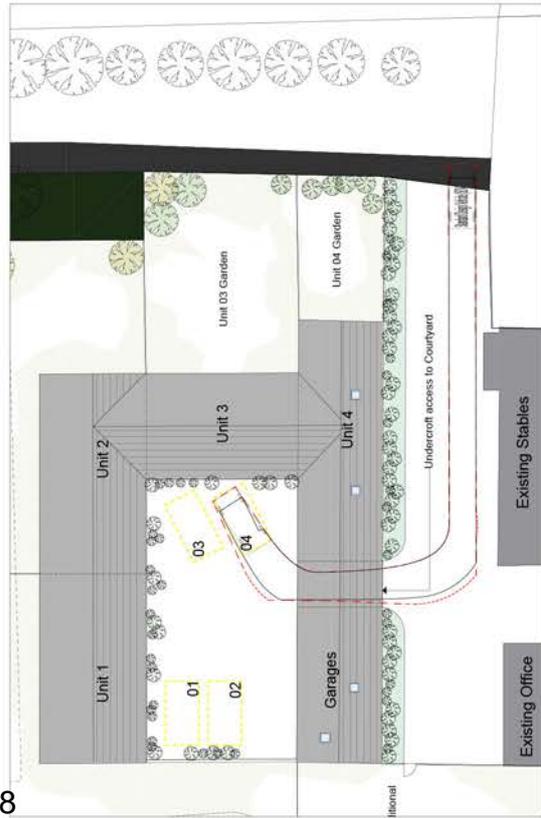
CAR SPACE 01 PARKING (Departure)
1 : 200



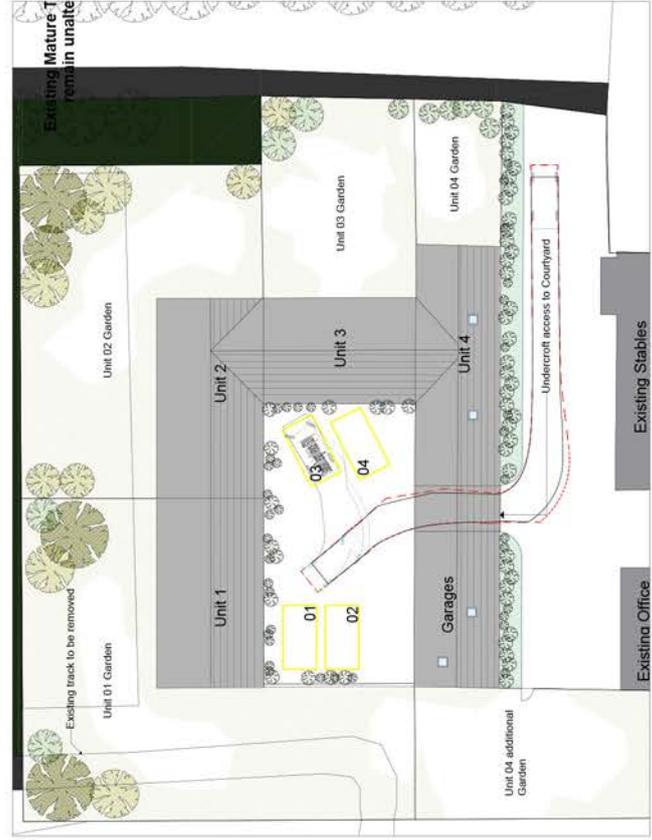
CAR SPACE 04 PARKING (Departure)
1 : 200



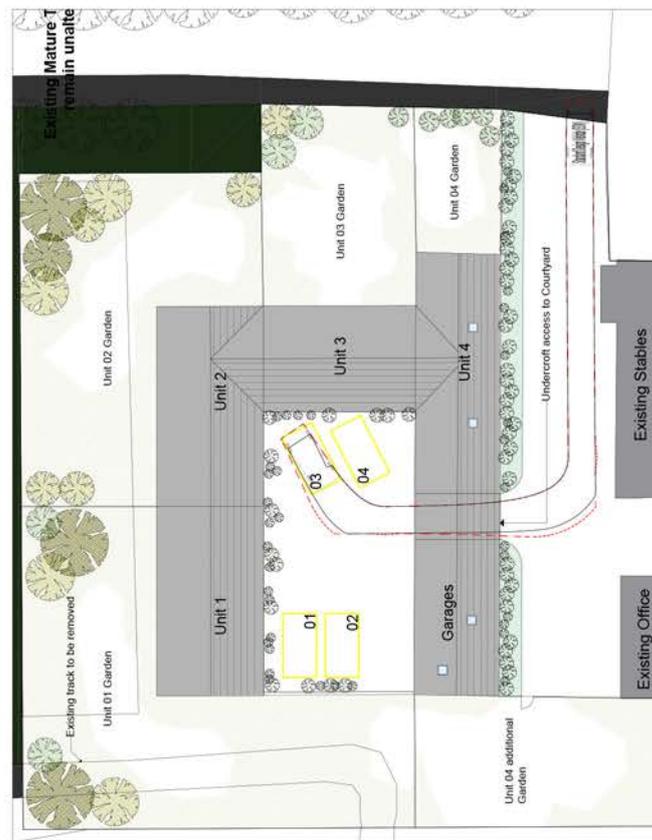
CAR SPACE 01 PARKING (Arrival)
1 : 200



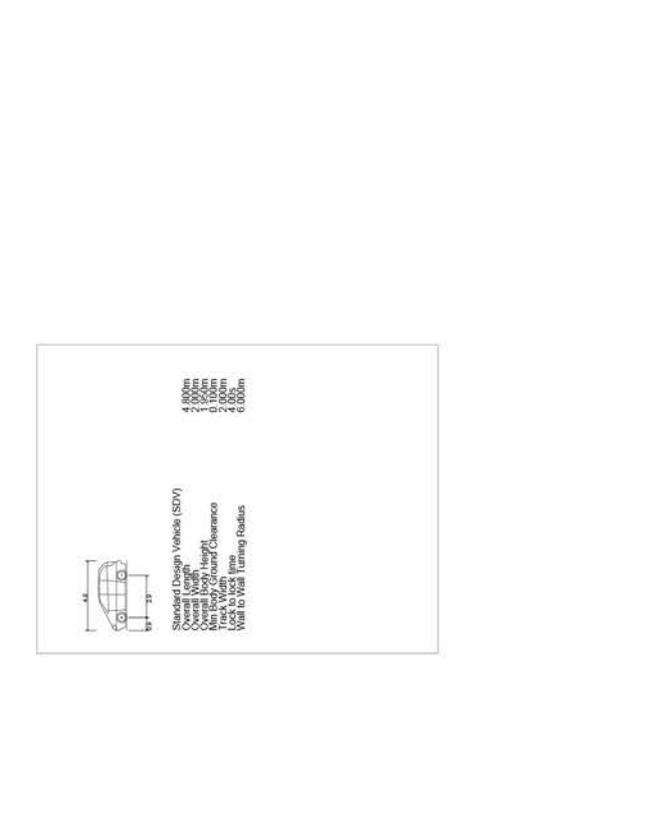
CAR SPACE 04 PARKING (Arrival)
1 : 200



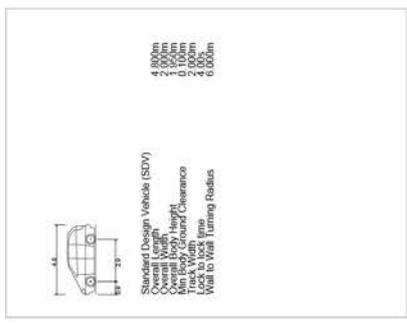
CAR SPACE 03 PARKING (Departure)
1 : 200



CAR SPACE 03 PARKING (Arrival)
1 : 200



CAR DROP OFF/TURNING (Arrival & Departure)
1 : 200



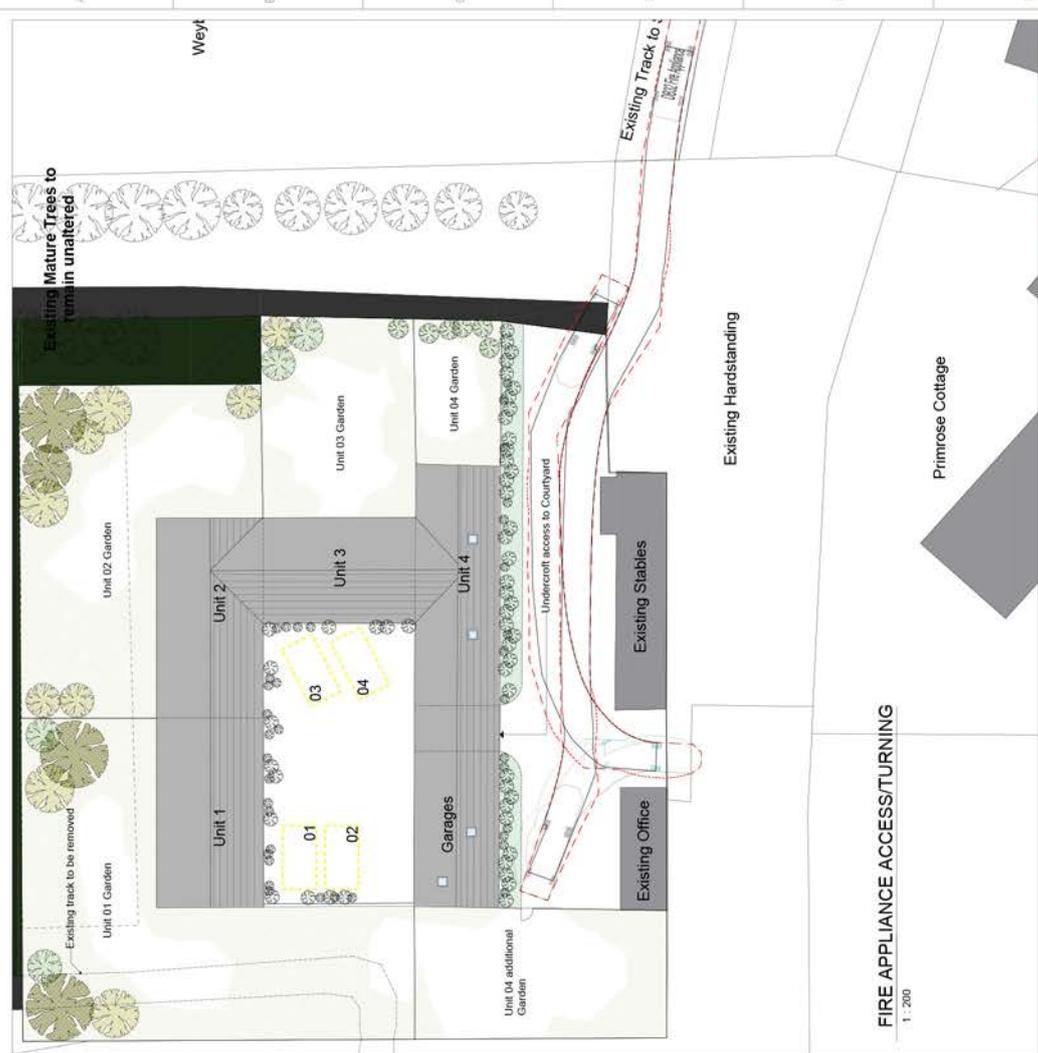
General Notes

1. This drawing to be read in conjunction with all relevant Architects and Engineers Drawings and Specifications.
2. All work shall be carried out in accordance with the current Building Regulations.
3. The Contractor shall be responsible for all dimensions, levels and for the correct setting out of all work.

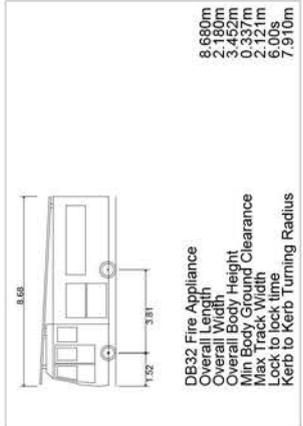
APPROVALS

REV	DESCRIPTION	DATE

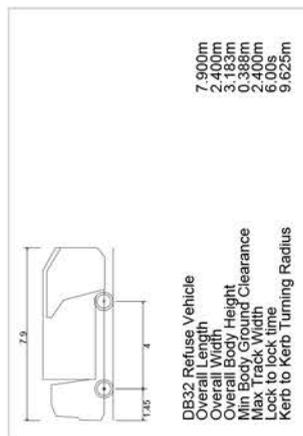
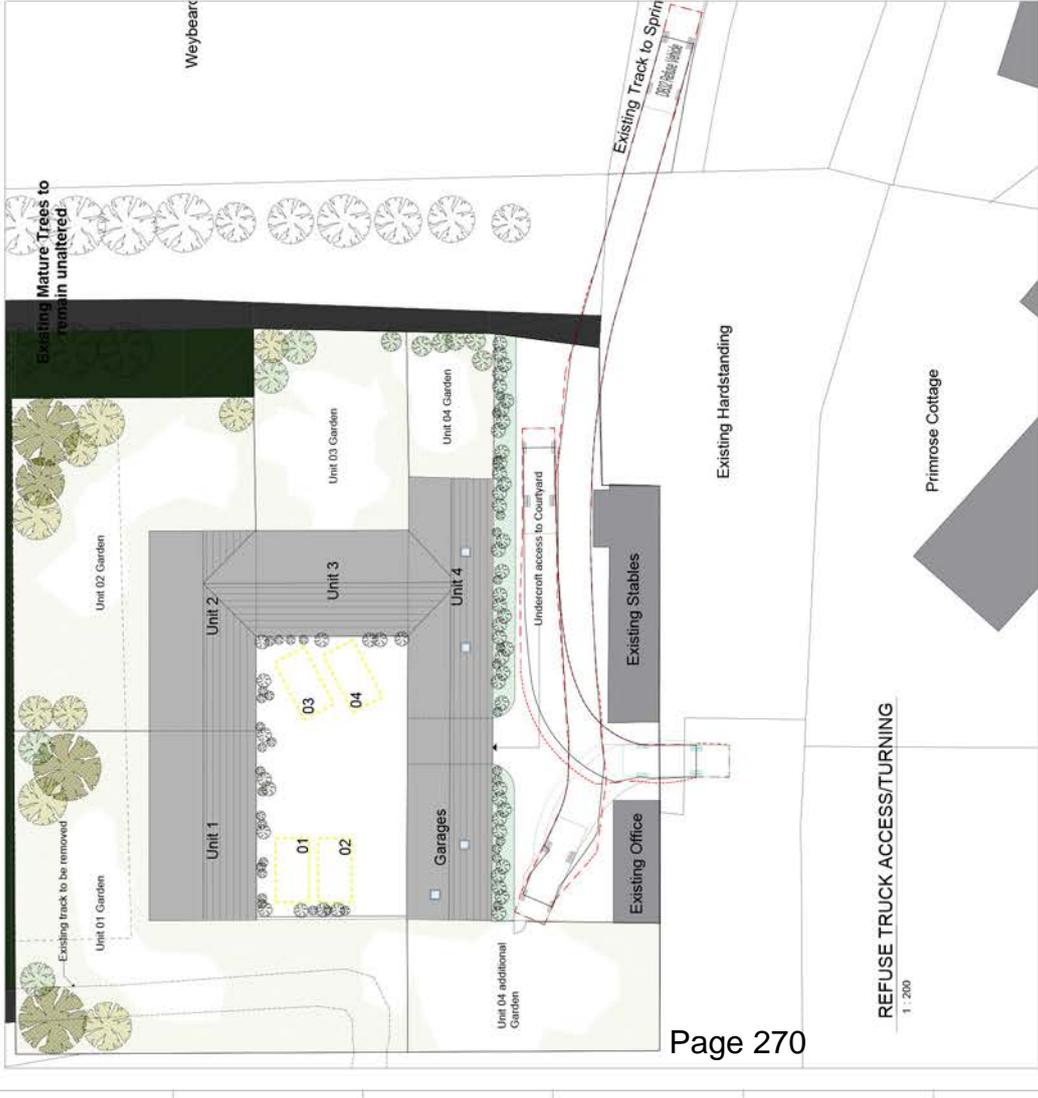
Hopkinson Engineering Consultants Civil & Structural Engineers 9, Kings Lane Great Munden Bucks HP14 0ZJ Telephone: 01494 852301 Email: h.ec@hopkinson.com	
CLIENT:	Alan C Ford Ltd
PROJECT:	Primrose Barns, Harfield
DRAWING:	Vehicle Sweep Paths Sheet 2 of 3
SCALE:	As shown
DATE:	24/02/20
DWG. NO:	H20-02-02-S02
REV:	P1



APPROVALS



- DB32 Fire Appliance
- Overall Length 8.680m
- Overall Width 2.180m
- Overall Body Height 2.432m
- Min Body Ground Clearance 0.432m
- Max Track Width 2.121m
- Lock to lock time 6.00s
- Kerb to Kerb Turning Radius 7.910m



- DB32 Refuse Vehicle
- Overall Length 7.900m
- Overall Width 2.183m
- Overall Body Height 3.183m
- Min Body Ground Clearance 0.388m
- Max Track Width 2.400m
- Lock to lock time 6.00s
- Kerb to Kerb Turning Radius 9.625m

REV	DESCRIPTION	DATE



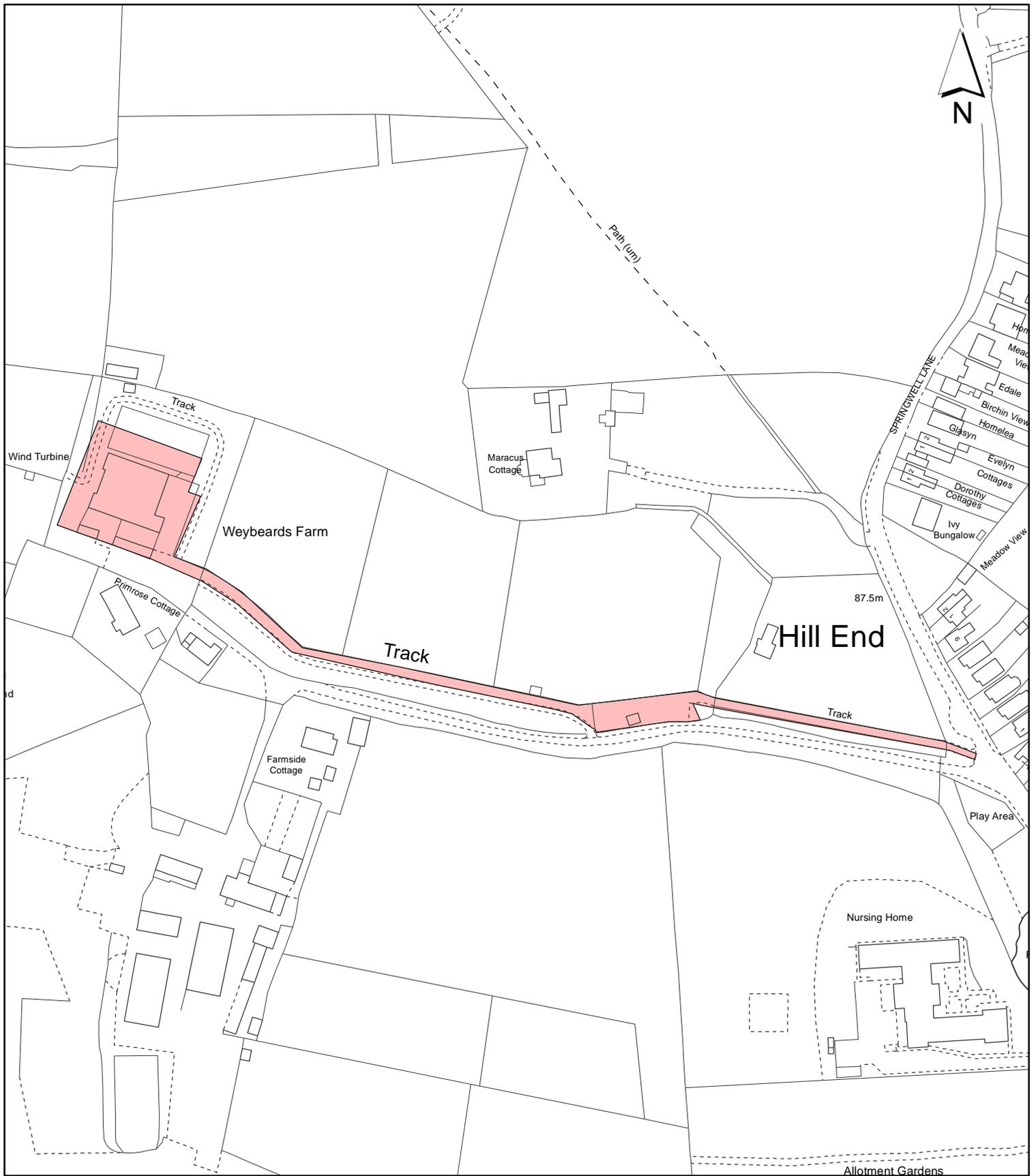
CLIENT:
Alan C Ford Ltd

PROJECT:
Primrose Barns, Harefield

DRAWING:
Vehicle Sweep Paths Sheet 3 of 3

SCALE	DATE	DWG NO	REV
As shown	24/02/20	H20-02-02-S03	P1

1. This drawing to be used in conjunction with all relevant Architects and Engineers drawings and specifications.
2. The Contractor is to be responsible for all dimensions, levels and for the correct setting out of all works on site.



Notes:

 Site boundary

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Site Address:

**Weybeards Farm, Primrose Cottage
 Hill End Road**

Planning Application Ref:

72546/APP/2019/3837

Planning Committee:

North Page 271

Scale:

1:2,250

Date:

June 2020

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111



HILLINGDON
 LONDON

Report of the Head of Planning, Transportation and Regeneration

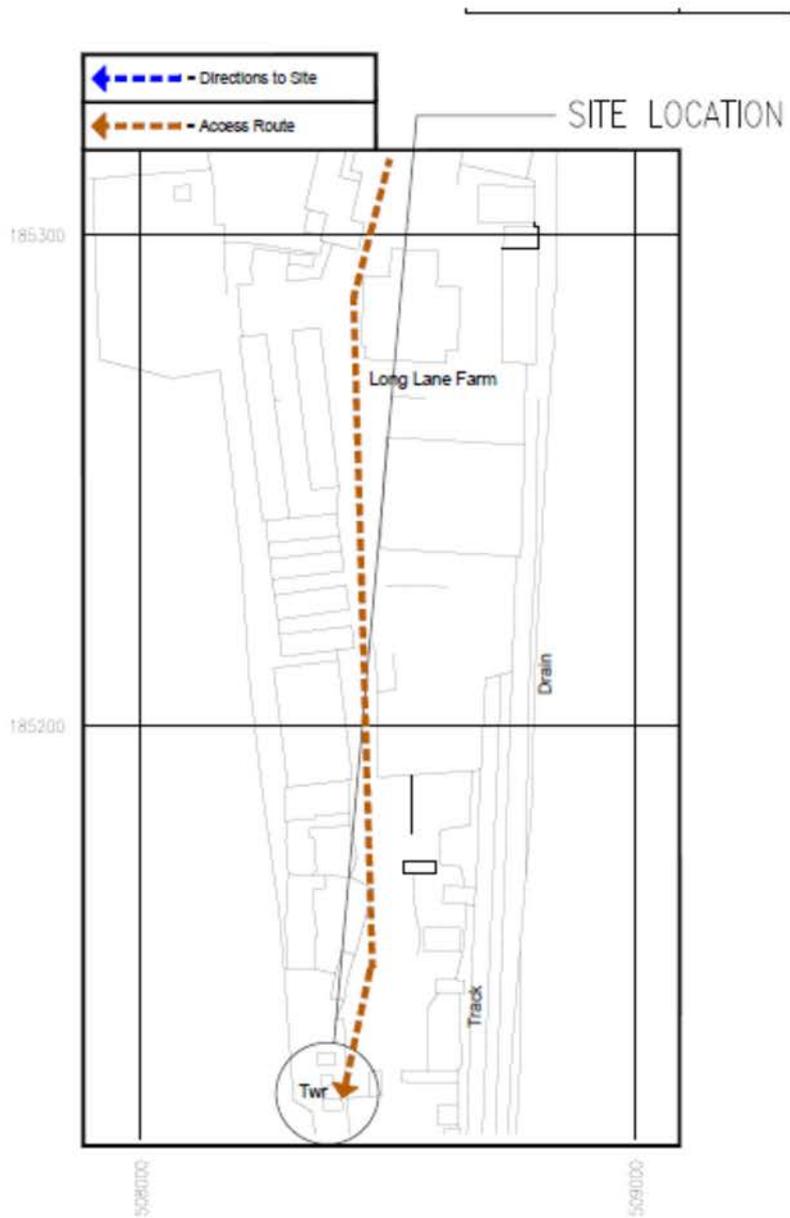
Address LONG LANE FARM LONG LANE ICKENHAM

Development: Proposal to remove 6 x existing antenna from an existing telecommunications site and replace with 12 x new antenna and add all ancillary works and to upgrade existing cabins internally.

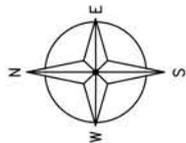
LBH Ref Nos: 14951/APP/2020/1449

Date Plans Received: 06/05/2020
Date Application Valid: 07/05/2020

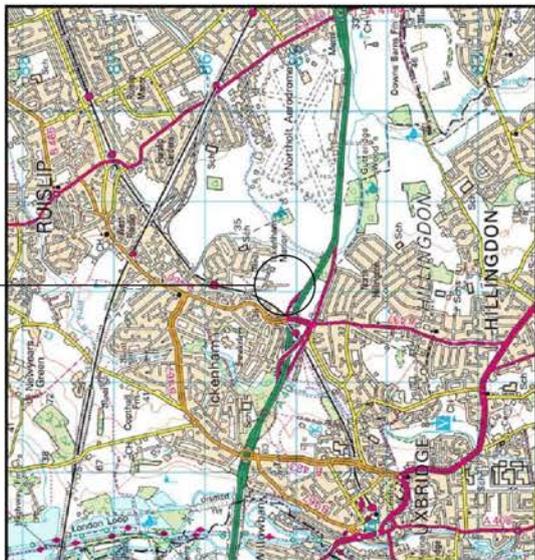
Date(s) of Amendment(s): 07/05/2020
25/05/2020



DETAILED SITE LOCATION
(Scale 1:1250)



SITE LOCATION



SITE LOCATION
(Scale 1:50000)

Ordnance Survey map extract based upon Landranger map series with the permission of the controller of Her Majesty's Stationery Office

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DETAILED SITE LOCATION
(Scale 1:1250)

Based upon Ordnance Survey map extract with the permission of the Controller of Her Majesty's Stationery Office.

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Site Shorer:	T--MOBILE
Site Shorer ID:	HGN062 (98263)
Site Shore OLO Ref:	110570
CTIL ID:	136106
VF ID:	33703
TEF ID:	01837

GENERAL NOTES

1. ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE.
2. DRAWING TO SCALE WHEN PRINTED AT A3.

DIRECTIONS TO SITE

HEADING SOUTH EAST ON THE M40 CONTINUE ONTO WESTERN AVE/M40. AFTER 1.3 MILES TAKE THE A437 EXIT TOWARDS HILLINGDON/RUSLIP/ICKENHAM/RA66. AT THE ROUNDABOUT, TAKE THE 1ST EXIT ONTO WESTERN AVENUE AND THE TURN LEFT ONTO LONG LANE/A437. AFTER 0.1 MILES TAKE A SLIGHT LEFT TO STAY ON LONG LANE/BA66. AFTER 0.4 MILES TURN RIGHT AT GILBEY CLOSE. AFTER 0.2 MILES TURN RIGHT INTO LONG LANE FARM. THE SITE IS APPROXIMATELY 200 METRES ON THE RIGHT.

NGR: E508033, N185140

Rev	Date	Description	Drawn	Chkd
B	31.10.19	BEARING AMENDED	ASE	PB
A	29.08.19	FIRST ISSUE FOR APPROVAL	ASE	PB

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mono # **O₂**

Proj Status
PLANNING

Cell No. & Name
01837 - LONG LANE FARM

Site Name & Address
**LONG LANE FARM,
ICKENHAM
MIDDLESEX
ENGLAND, UB10 8QT.**

Drawing Title

SITE LOCATION PLANS

Scale	AS SHOWN	Date	31.10.19
Drawn By	ASE	Checked By	PB
Drawing Number	P/01837/GEN/101		
Revision	B		

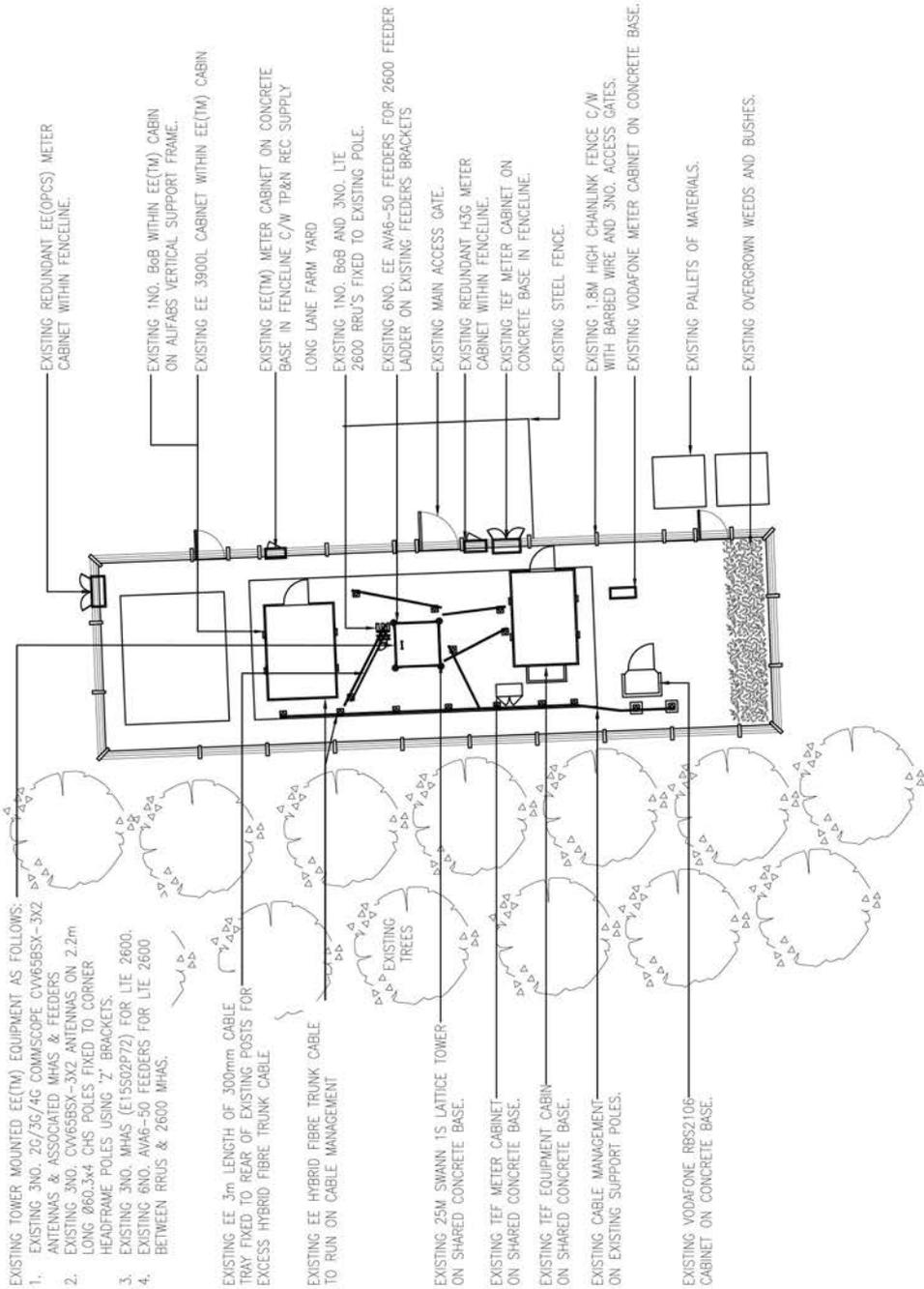
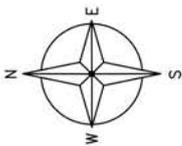


Red area showing location of existing CTIL equipment demise area
For details refer to drawing MSL4355-1837-GAD-002

NGR: TQ0885SW OS:TQ080851

Approximate location of demise centre: E:508039 N:185128

SITE BLOCK PLAN
(SCALE 1:2500)



Site Shorer:	T--MOBILE
Site Shorer ID:	HGN062 (98263)
Site Shore OLO Ref:	110570
CTL ID:	136106
VF ID:	33703
TEF ID:	01837

GENERAL NOTES

1. ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE.
2. DRAWING TO SCALE WHEN PRINTED AT A3.

Rev	Date	Description	Drawn	Chkd
B	31.10.19	BEARING AMENDED	ASE	PB
A	29.08.19	FIRST ISSUE FOR APPROVAL	ASE	PB

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Dwg Status
PLANNING

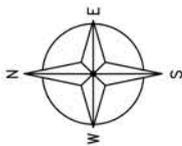
Cell No. & Name
01837 - LONG LANE FARM

Site Name & Address
**LONG LANE FARM,
ICKENHAM
MIDDLESEX,
ENGLAND, UB10 8QT.**

Drawing Title
EXISTING SITE PLAN

Scale	AS SHOWN	Date	31.10.19
Drawn By	ASE	Checked By	PB
Drawing Number	P/01837/GEN/102		
Revision	B		

EXISTING SITE PLAN
(Scale 1:200)



Site Shorer:	T--MOBILE
Site Shorer ID:	HGN062 (98263)
Site Shore OLO Ref:	110570
CTL ID:	136106
VF ID:	33703
TEF ID:	01837

GENERAL NOTES

1. ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE.
2. DRAWING TO SCALE WHEN PRINTED AT A3.

Rev	Date	Description	Drawn	Checked
C	28.01.20	THIRD ISSUE FOR APPROVAL	ASE	PB
B	31.10.19	BEARING AMENDED	ASE	PB
A	29.08.19	FIRST ISSUE FOR APPROVAL	ASE	PB

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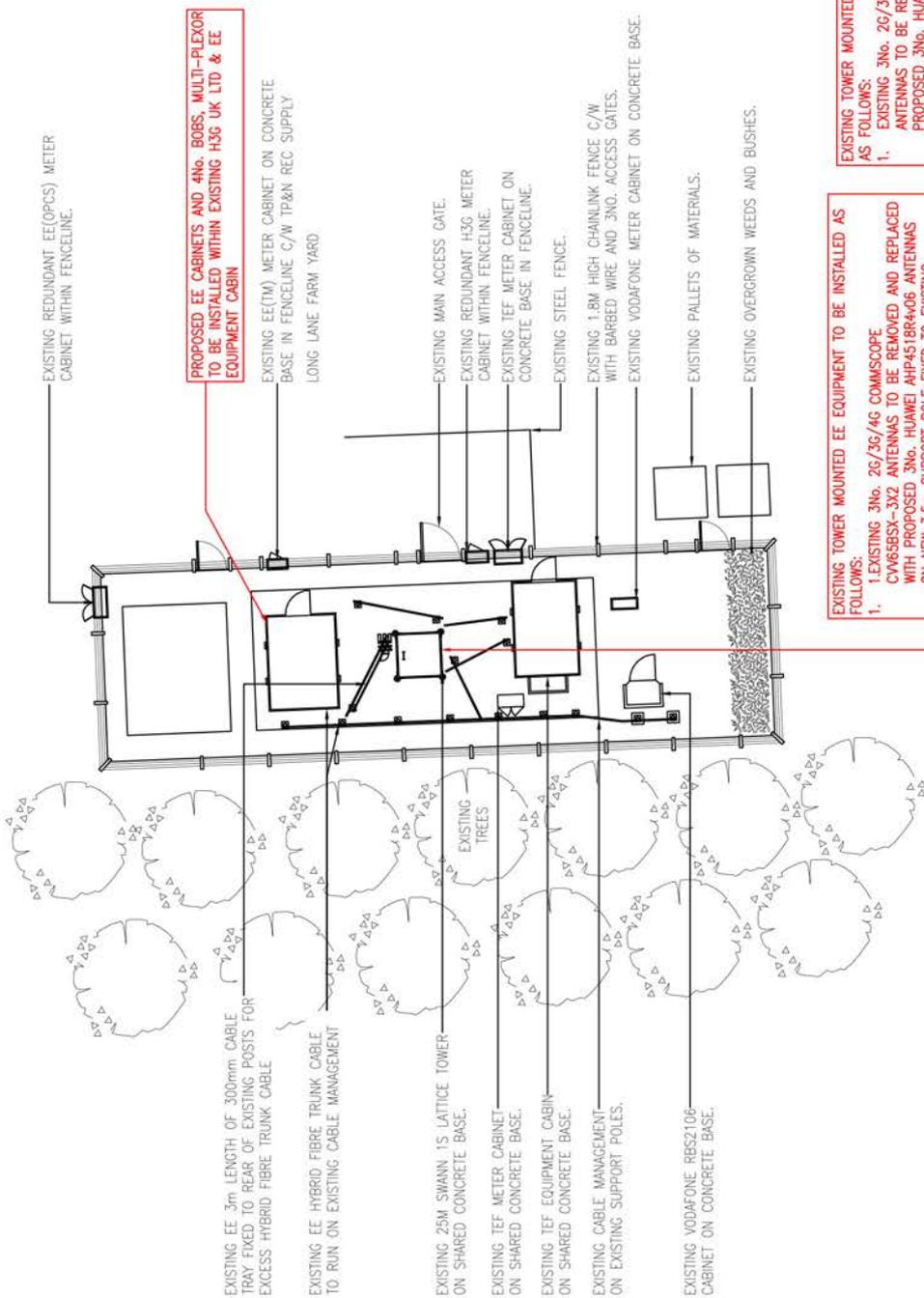
Drq Status
PLANNING

Cell No. & Name
01837 - LONG LANE FARM

Site Name & Address
LONG LANE FARM,
ICKENHAM,
MIDDLESEX,
ENGLAND, UB10 8QT.

Drawing Title
PROPOSED SITE PLAN

Scale	AS SHOWN	Date	28.01.20
Drawn By	ASE	Checked By	PB
Drawing Number	P/01837/GEN/103		
Revision	C		



- EXISTING TOWER MOUNTED H3G EQUIPMENT TO BE INSTALLED AS FOLLOWS:**
1. EXISTING 3No. 2G/3G/4G COMMSCOPE CW6585X-3X2 ANTENNAS TO BE REMOVED AND REPLACED WITH PROPOSED 3No. HUAWEI AHP4517R7A06 ANTENNAS NEW 3.5m SUPPORT POLE FIXED TO EXISTING HEADFRAME.
 2. PROPOSED 3No. HUAWEI AAU5614 ANTENNAS ON NEW 3.5m SUPPORT POLE FIXED TO EXISTING HEADFRAME.
 3. PROPOSED 3No. MHAs FOR H3G ANTENNAS.
 4. PROPOSED 12No. RRUs ON NEW SUPPORT POLE REAR OF H3G ANTENNAS.
 5. PROPOSED 1No. BOB ON NEW SUPPORT POLE REAR H3G ANTENNAS.
 6. PROPOSED 6No. AW7-50 FEEDERS FOR H3G ANTENNAS.

- EXISTING TOWER MOUNTED EE EQUIPMENT TO BE INSTALLED AS FOLLOWS:**
1. EXISTING 3No. 2G/3G/4G COMMSCOPE CW6585X-3X2 ANTENNAS TO BE REMOVED AND REPLACED WITH PROPOSED 3No. HUAWEI AHP4518R4A06 ANTENNAS ON NEW 3.5m SUPPORT POLE FIXED TO EXISTING HEADFRAME.
 2. PROPOSED 3No. HUAWEI AAU5613 ANTENNAS ON NEW 3.5m SUPPORT POLE FIXED TO EXISTING HEADFRAME.
 3. PROPOSED 9No. MHAs FOR EE ANTENNAS.
 4. PROPOSED 12No. RRUs & 1No. BOB TO BE FIXED ON NEW SUPPORT POLE REAR OF EE ANTENNAS.
 5. PROPOSED 12No. AW7-50 FEEDERS FOR EE ANTENNAS.

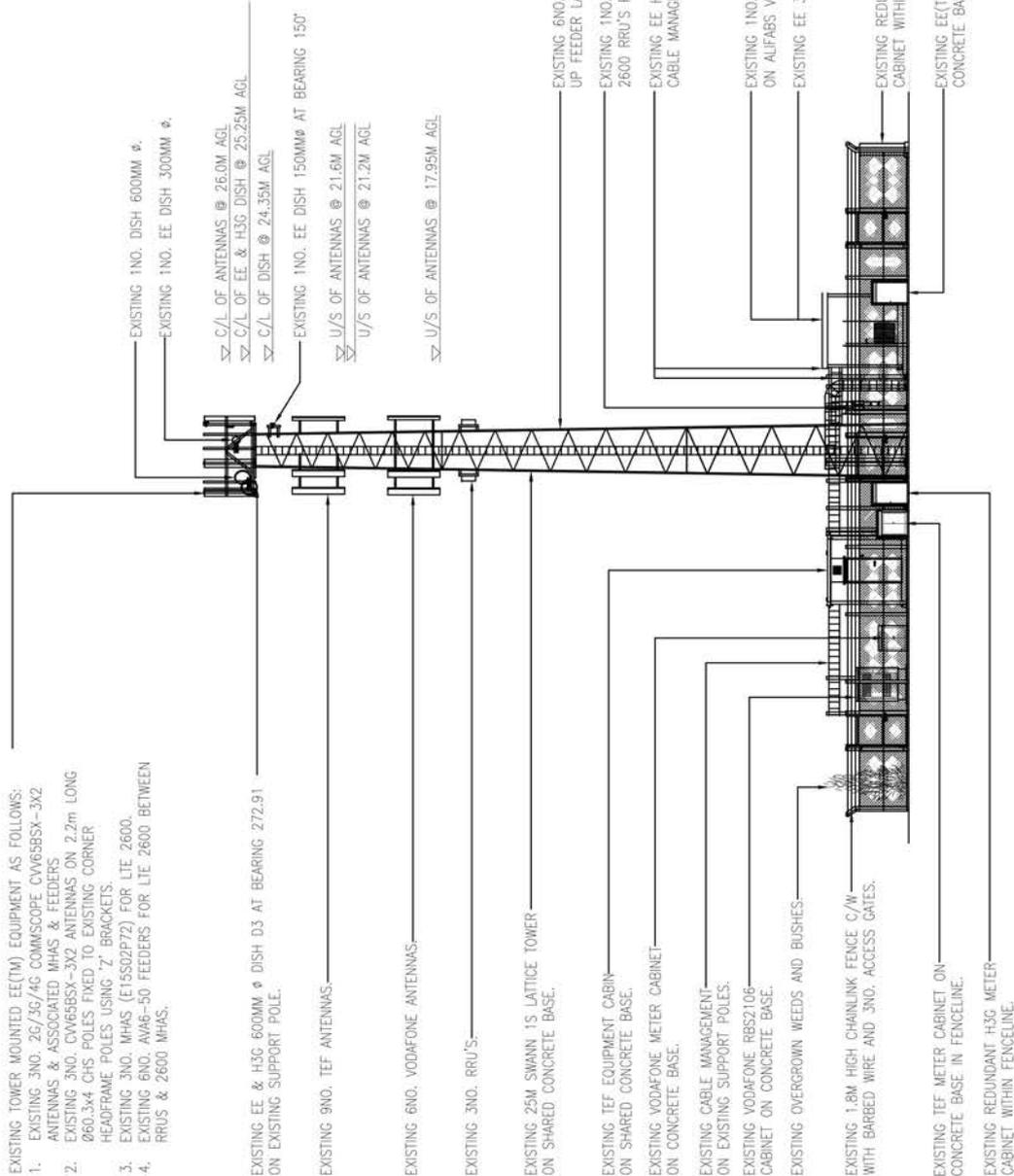
PROPOSED SITE PLAN
(Scale 1:200)

GENERAL NOTES

1. ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE.
2. DRAWING TO SCALE WHEN PRINTED AT A3.

Site Shorer:	T--MOBILE
Site Shorer ID:	HGN062 (98263)
Site Shore OLO Ref:	110570
CTIL ID:	136106
VF ID:	33703
TEF ID:	01837

- EXISTING TOWER MOUNTED EE(TM) EQUIPMENT AS FOLLOWS:
1. EXISTING 3NO. 2G/3G/4G COMSCOPE CW68BSX-3X2 ANTENNAS & ASSOCIATED MHAS & FEEDERS
 2. EXISTING 3NO. CW68BSX-3X2 ANTENNAS ON 2.2m LONG Ø60.3x4 CHS. POLES FIXED TO EXISTING CORNER HEADFRAME. POLES USING '7' BRACKETS.
 3. EXISTING 3NO. MHAS (E16S02P72) FOR LTE 2600.
 4. EXISTING 6NO. AW46-50 FEEDERS FOR LTE 2600 BETWEEN RRU'S & 2600 MHAS.



EXISTING EAST ELEVATION
(Scale 1:200)

Rev	Date	Description	Drawn	Chkd
B	31.10.19	BEARING AMENDED	ASE	PB
A	29.08.19	FIRST ISSUE FOR APPROVAL	ASE	PB

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PLANNING

Cell No. & Name
01837 - LONG LANE FARM

Site Name & Address
LONG LANE FARM,
ICKENHAM,
MIDDLESEX,
ENGLAND, UB10 8QT.

Drawing Title
EXISTING SITE ELEVATION

Scale	AS SHOWN	Date	31.10.19
Drawn By	ASE	Checked By	PB
Drawing Number	P/01837/GEN/104		
Revision	B		

ORIGINAL DRAWING SIZE A3

EXISTING TOWER MOUNTED EE EQUIPMENT TO BE INSTALLED AS FOLLOWS:

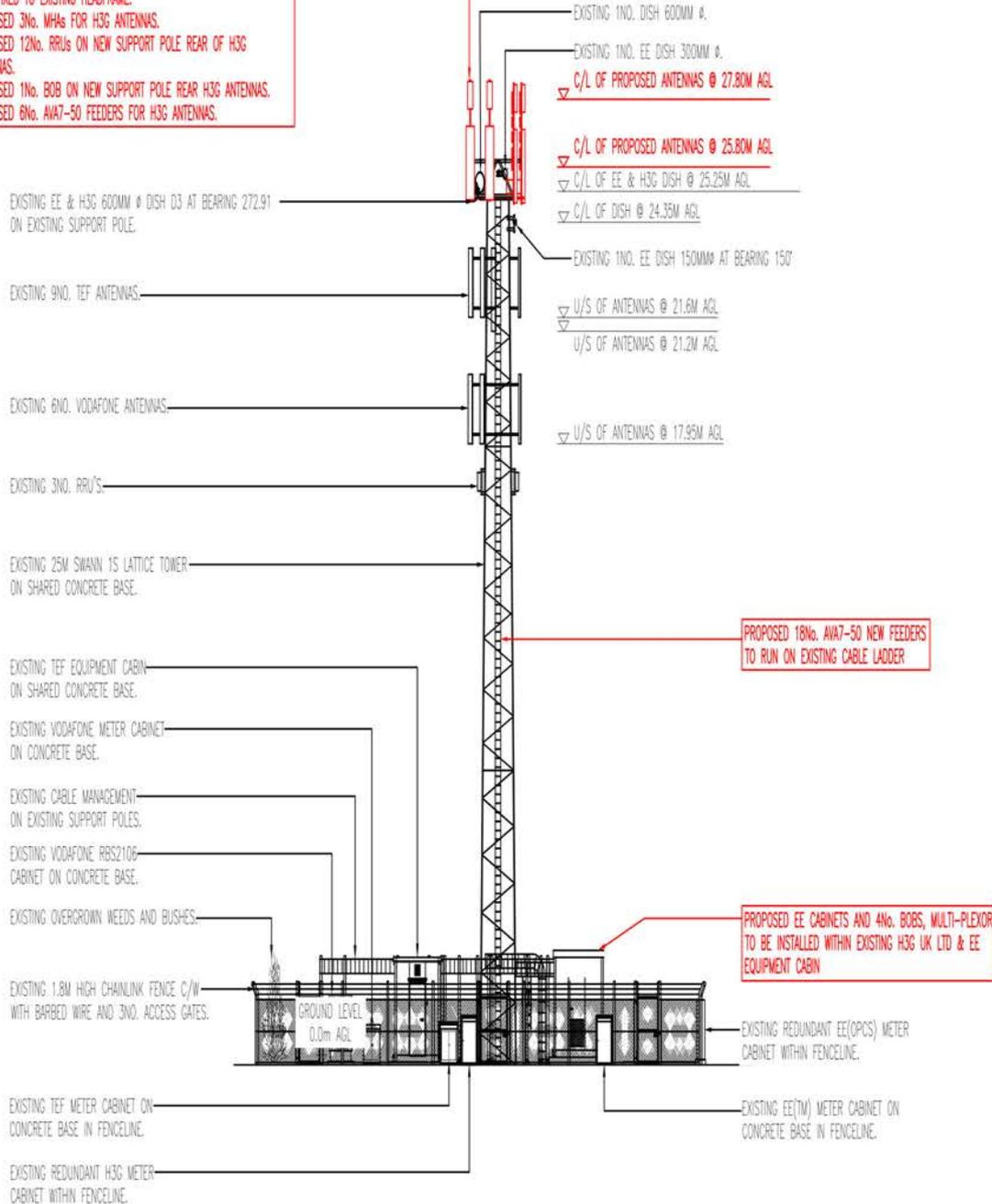
1. EXISTING 3No. 2G/3G/4G COMSCOPE CVV65BSX-3X2 ANTENNAS TO BE REMOVED AND REPLACED WITH PROPOSED 3No. HUAWEI AHP4518R4+06 ANTENNAS ON NEW 3.5m SUPPORT POLE FIXED TO EXISTING HEADFRAME.
2. PROPOSED 3No. HUAWEI AAU5613 ANTENNAS ON NEW 3.5m SUPPORT POLE FIXED TO EXISTING HEADFRAME.
3. PROPOSED 9No. MHAs FOR EE ANTENNAS.
4. PROPOSED 12No. RRU's & 1No. BOB TO BE FIXED ON NEW SUPPORT POLE REAR OF EE ANTENNAS.
5. PROPOSED 12No. AWA7-50 FEEDERS FOR EE ANTENNAS.

EXISTING TOWER MOUNTED H3G EQUIPMENT TO BE INSTALLED AS FOLLOWS:

1. EXISTING 3No. 2G/3G/4G COMSCOPE CVV65BSX-3X2 ANTENNAS TO BE REMOVED AND REPLACED WITH PROPOSED 3No. HUAWEI AHP4517R7+06 ANTENNAS NEW 3.5m SUPPORT POLE FIXED TO EXISTING HEADFRAME.
2. PROPOSED 3No. HUAWEI AAU5614 ANTENNAS ON NEW 3.5m SUPPORT POLE FIXED TO EXISTING HEADFRAME.
3. PROPOSED 3No. MHAs FOR H3G ANTENNAS.
4. PROPOSED 12No. RRU's ON NEW SUPPORT POLE REAR OF H3G ANTENNAS.
5. PROPOSED 1No. BOB ON NEW SUPPORT POLE REAR H3G ANTENNAS.
6. PROPOSED 6No. AWA7-50 FEEDERS FOR H3G ANTENNAS.

Site Sharer:	T-MOBILE
Site Sharer ID:	HGN062 (98263)
Site Share OLO Ref:	110570
CTIL ID:	136106
VF ID:	33703
TEF ID:	01837

GENERAL NOTES
 1. ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE.
 2. DRAWING TO SCALE WHEN PRINTED AT A3.

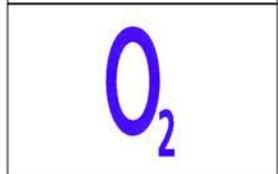


PROPOSED EAST ELEVATION

(Scale 1:200)

Rev	Date	Description	Drawn	Chkd
C	28.01.20	THIRD ISSUE FOR APPROVAL	ASE	PB
B	31.10.19	BEARING AMENDED	ASE	PB
A	29.08.19	FIRST ISSUE FOR APPROVAL	ASE	PB

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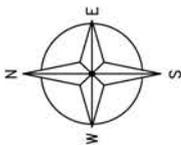
Drq Status
PLANNING

Cell No. & Name
01837 - LONG LANE FARM

Site Name & Address
**LONG LANE FARM,
 LONG LANE FARM,
 ICKENHAM,
 ENGLAND, UB10 8QT.**

Drawing Title
PROPOSED SITE ELEVATION

Scale	AS SHOWN	Date	28.01.20
Drawn By	ASE	Checked By	PB
Drawing Number	P/01837/GEN/105		
Revision	C		



Site Shorer:	T--MOBILE
Site Shorer ID:	HGN06Z (98263)
Site Shore OLO Ref:	110570
CTIL ID:	136106
VF ID:	33703
TEF ID:	01837

GENERAL NOTES	
1. ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE.	
2. DRAWING TO SCALE WHEN PRINTED AT A3.	

Rev	Date	Description	Drawn	Chkd
C	28.01.20	THIRD ISSUE FOR APPROVAL	ASE	PB
B	31.10.19	BEARING AMENDED	ASE	PB
A	29.08.19	FIRST ISSUE FOR APPROVAL	ASE	PB

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Drq Status
PLANNING

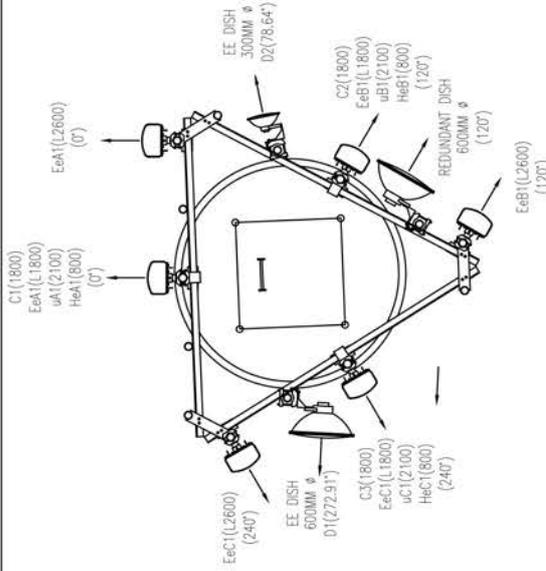
Cell No. & Name
 01837 - LONG LANE FARM

Site Name & Address
 LONG LANE FARM,
 LONG LANE FARM,
 ICKENHAM,
 ENGLAND, UB10 8QT.

Drawing Title
ANTENNA PLAN

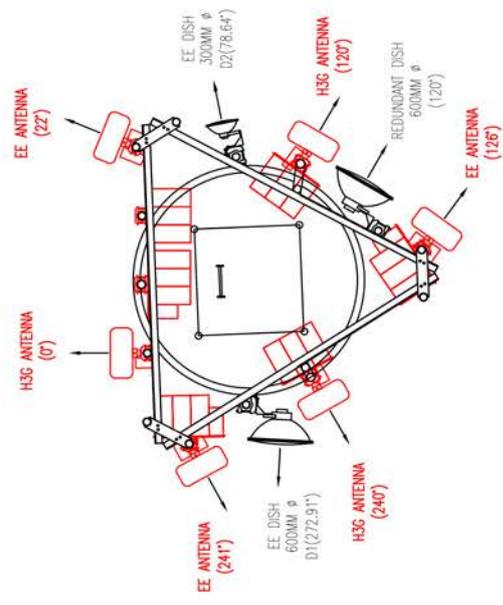
Scale	AS SHOWN	Date	28.01.20
Drawn By	ASE	Checked By	PB
Drawing Number	P/01837/GEN/106		
Revision	C		

ORIGINAL DRAWING SIZE A3



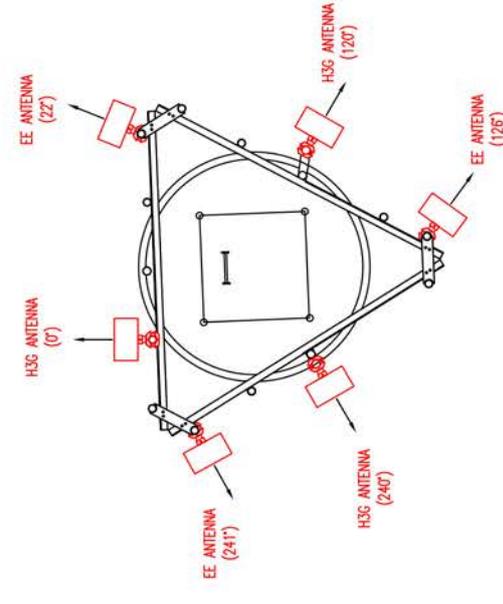
EXISTING EE & H3G ANTENNA PLAN AT 25.80m AGL

(Scale 1:50)



PROPOSED EE & H3G ANTENNA PLAN AT 25.80m AGL

(Scale 1:50)



PROPOSED EE & H3G ANTENNA PLAN AT 27.80m AGL

(Scale 1:50)

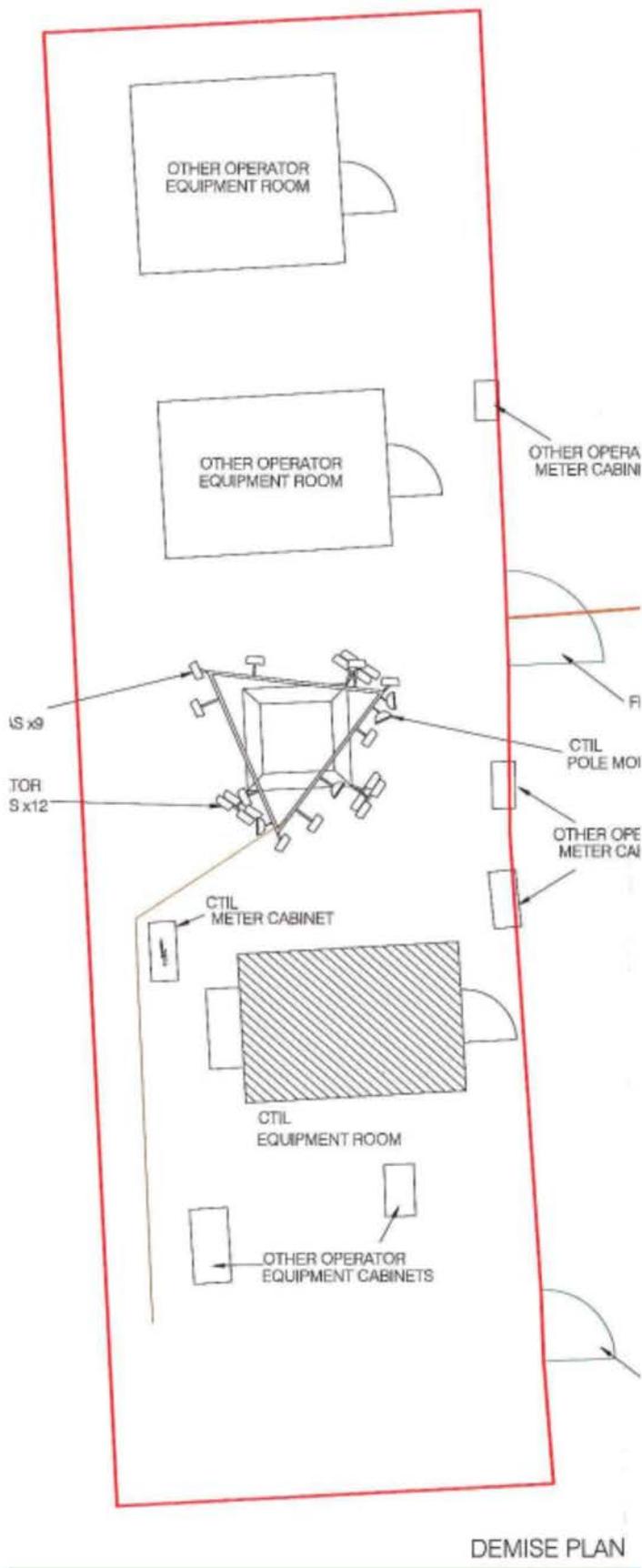
GENERAL NOTES	T--MOBILE
1. ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE.	HGN062 (98263)
2. DRAWING TO SCALE WHEN PRINTED AT A3.	110570
	136106
	33703
	01837

Site Shorer: T--MOBILE
 Site Shorer ID: HGN062 (98263)
 Site Shore OLO Ref: 110570
 CTIL ID: 136106
 VF ID: 33703
 TEF ID: 01837

SECTOR ID	OPERATOR NAME	ANTENNA TYPE, AZIMUTH, TILT AND PORTS				ANTENNA PORT ALLOCATION			MHA REF	RET		OVERALL SYSTEM LOSS		
		ANTENNA TYPE	ANTENNA C/L (m) AGL	ANTENNA LENGTH (m)	BEARING (°)	MECHANICAL TILT (°)	PORT FREQUENCY RANGE	RFU/RRU		MHA NAME	RET CABLE LOCATION	RET NAME	MAIN FEEDER LENGTH (m)	MAIN FEEDER TYPE
1	EE	AHP4518R4v06	25.80	2.0	22	LB	690-960	RFU	800 MHA	-	E08S:022:Lr1	35	7-50	-
						LB	690-960	RFU	800 MHA	-	E08P:022:Rr2	-	-	-
						WB	1427-2690	RFU	18/21/26 MHA	-	E18/21S:022:Cy2	35	7-50	-
						WB	1710-2200	RRU	-	-	E18/21P:022:Lb1	35	FIBRE	-
						WB	1710-2200	RRU	-	-	E18/21S:022:Rb2	35	FIBRE	-
						HB	2490-2690	RRU	-	-	E26P:022:Ly1	35	FIBRE	-
2	EE	AHP4518R4v06	25.80	2.0	126	LB	690-960	RFU	800 MHA	-	E08S:126:Lr1	35	7-50	-
						LB	690-960	RFU	800 MHA	-	E08P:126:Rr2	-	-	-
						WB	1427-2690	RFU	18/21/26 MHA	-	E18/21S:126:Cy2	35	7-50	-
						WB	1710-2200	RRU	-	-	E18/21P:126:Lb1	35	FIBRE	-
						WB	1710-2200	RRU	-	-	E18/21S:126:Rb2	35	FIBRE	-
						HB	2490-2690	RRU	-	-	E26P:126:Ly1	35	FIBRE	-
3	EE	AHP4518R4v06	25.80	2.0	241	LB	690-960	RFU	800 MHA	-	E08S:241:Lr1	35	7-50	-
						LB	690-960	RFU	800 MHA	-	E08P:241:Rr2	-	-	-
						WB	1427-2690	RFU	18/21/26 MHA	-	E18/21S:241:Cy2	35	7-50	-
						WB	1710-2200	RRU	-	-	E18/21P:241:Lb1	35	FIBRE	-
						WB	1710-2200	RRU	-	-	E18/21S:241:Rb2	35	FIBRE	-
						HB	2490-2690	RRU	-	-	E26P:241:Ly1	35	FIBRE	-
1	EE	AAU5613	27.80	0.795	22	HB	3600	RRU	-	E36P:022:R1	5	FIBRE	-	
2	EE	AAU5613	27.80	0.795	126	HB	3600	RRU	-	E36P:126:R1	5	FIBRE	-	
3	EE	AAU5613	27.80	0.795	241	HB	3600	RRU	-	E36P:241:R1	5	FIBRE	-	

DISH ID	D1		D2		D3		D4	
	C0	C0	C0	C0	C0	C0	C0	C0
DISH SIZE	300	300	300	300	600	600	150	150
HEIGHT m AGL	25.95	25.75	25.75	25.25	24.35	24.35	TBA	TBA
POLE TAG REF	TBA	TBA	TBA	TBA	TBA	TBA	TBA	TBA
BEARING °CN	272.91	78.64	272.91	272.91	150	150	TBA	TBA
SITE LINK	TBA	TBA	TBA	TBA	TBA	TBA	TBA	TBA
SITE NAME	TBA	TBA	TBA	TBA	TBA	TBA	TBA	TBA
TINE No.	TBA	TBA	TBA	TBA	TBA	TBA	TBA	TBA
M. No.	TBA	TBA	TBA	TBA	TBA	TBA	TBA	TBA
RADIO TYPE	TBA	TBA	TBA	TBA	TBA	TBA	TBA	TBA
POLARITY	TBA	TBA	TBA	TBA	TBA	TBA	TBA	TBA

Drng Status	PLANNING
Cell No. & Name	01837 - LONG LANE FARM
Site Name & Address	LONG LANE FARM, LONG LANE FARM, ICKENHAM, ENGLAND, UB10 8QT.
Dwg Title	ANTENNA LINE KEY (EE)
Scale	AS SHOWN
Date	31.10.19
Drawn By	ASE
Checked By	PB
Drawing Number	P/01837/GEN/108
Revision	B





Notes:

 Site boundary

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Site Address:

**Long Lane Farm Long Lane
 Ickenham**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

14951/APP/2020/1449

Scale:

1:1,250

Planning Committee:

North Page 284

Date:

June 2020

